

**A. ADMINISTRATIVE REPORT & DECISION**

**DECISION:** ☐ APPROVED ☒ APPROVED SUBJECT TO CONDITIONS ☐ DENIED

**REPORT DATE:** March 10, 2017

**Project Name:** Firestone at 108<sup>th</sup> SE

**Owner:** Real Property Investors, LLC, 2618 2<sup>nd</sup> Ave, Seattle, WA 98121

**Applicant/Contact:** Luke Randles, Pacland, 1505 Westlake Ave N., Suite 305, Seattle, WA 98117

**File Number:** LUA16-000782,ECF,CU-A, SA-A, MOD

**Project Manager:** Matthew Herrera, Senior Planner

**Project Summary:** The applicant is requesting Administrative Site Plan Review, Administrative Conditional Use Permit, Environmental Review, and four (4) modifications to redevelop an existing CA zoned site with a proposed 8,261 square foot single-story building that will accommodate a new vehicle service and repair business. Associated improvements with the redevelopment include surface parking for 24 vehicles, stormwater detention and water quality treatment, and landscaping. Access to the site will remain in approximately the same location as the former restaurant along the 108<sup>th</sup> Ave SE frontage. The applicant also requests four (4) modifications to code requirements related to frontage improvements along 108<sup>th</sup> Ave SE and 109 Ave SE, garbage and recycling enclosure requirements, and loading space standards. The existing restaurant on the subject property will be removed. The site contains no critical areas.

**Project Location:** 17808 108<sup>th</sup> Ave SE, Renton, WA 98055

**Site Area:** 0.88 acres



Project Location Map

**B. EXHIBITS:**

- Exhibit 1-14: ERC Report and Exhibits
- Exhibit 15: Public Comment Letters
- Exhibit 16: Applicant Response to Comment Letters
- Exhibit 17: Refuse and Recycling Enclosure Elevations
- Exhibit 18: Tree Memo prepared by Washington Forestry Consultant, dated January 25, 2017
- Exhibit 19: Transportation Concurrency Memo
- Exhibit 20: Environmental Determination of Nonsignificance (DNS)

**C. GENERAL INFORMATION:**

1. **Owner(s) of Record:** RPI, LLC, 2618 2<sup>nd</sup> Ave, Seattle, WA 98121
2. **Zoning Classification:** Commercial Arterial (CA)
3. **Comprehensive Plan Land Use Designation:** Commercial Mixed Use (CMU)
4. **Existing Site Use:** Fast Food Restaurant
5. **Critical Areas:** None
6. **Neighborhood Characteristics:**
  - a. **North:** Vehicle Service and Repair and Single-Family Residential - CA and Residential-8 (R-8) zones, respectively.
  - b. **East:** Single-Family Residential – R-8 zone
  - c. **South:** Vacant former fast food restaurant – CA zone
  - d. **West:** Shopping Center – CA zone
7. **Site Area:** 0.88

**D. HISTORICAL/BACKGROUND:**

<u>Action</u>	<u>Land Use File No.</u>	<u>Ordinance No.</u>	<u>Date</u>
Comprehensive Plan	N/A	5758	06/22/2015
Zoning	N/A	5758	06/22/2015
Benson Hill Annexation	N/A	5327	03/01/2008

**E. PUBLIC SERVICES:**

1. **Existing Utilities**
  - a. Water: Water service is provided by the Soos Creek Water and Sewer District. A water availability certificate will be required to be submitted to the City with the building permit application.
  - b. Sewer: Sewer service is provided by the Soos Creek Water and Sewer District. A sewer availability certificate will be required to be submitted to the City with the building permit application.

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- c. **Surface/Storm Water:** An active private stormwater conveyance is onsite and currently discharges to a 24-inch stormwater main located within 108<sup>th</sup> Ave SE.
2. **Streets:** The property contains frontage with vehicle and pedestrian access on 108<sup>th</sup> Ave SE, a principal arterial providing curb and sidewalk. The property also abuts 109 Ave SE, a residential access street containing no vehicle access or frontage improvements.
3. **Fire Protection:** Renton Fire Authority

#### **F. APPLICABLE SECTIONS OF THE RENTON MUNICIPAL CODE:**

1. **Chapter 2 Land Use Districts**
  - a. Section 4-2-020: Purpose and Intent of Zoning Districts
  - b. Section 4-2-070: Zoning Use Table
  - c. Section 4-2-120: Commercial Development Standards
2. **Chapter 3 Environmental Regulations and Overlay Districts**
  - a. Section 4-3-100: Urban Design Regulations
3. **Chapter 4 City-Wide Property Development Standards**
4. **Chapter 6 Streets and Utility Standards**
  - a. Section 4-6-060: Street Standards
5. **Chapter 9 Permits – Specific**
  - a. Section 4-9-030: Conditional Use Permits
  - b. Section 4-9-070: Environmental Review Procedures
  - c. Section 4-9-200: Master Plan and Site Plan Review
6. **Chapter 11 Definitions**

#### **G. APPLICABLE SECTIONS OF THE COMPREHENSIVE PLAN:**

1. Land Use Element

#### **H. FINDINGS OF FACT (FOF):**

1. The Planning Division of the City of Renton accepted the above master application for review on October 6, 2016 and determined the application complete on October 17, 2016. The application was put on-hold November 9, 2016 to request additional information and for the applicant to provide corrections to plans. The application was taken off-hold February 3, 2017 following resubmittal of requested items. The project complies with the 120-day review period.
2. The applicant is requesting an Administrative Conditional Use Permit, Site Plan Review, Environmental Review, and four (4) modifications for the removal of an existing 2,200 square foot fast food restaurant and the redevelopment of the property to accommodate a new 8,261 square foot vehicle service and repair building, stormwater facility, surface parking lot, and landscaping.
3. The project site is located at 17808 108<sup>th</sup> Ave SE.
4. The proposed new building would have a maximum height of 30-feet at the east and west ends of the building with the remainder of the building averaging in height of approximately 22-feet.
5. The applicant is proposing 24 surface parking spaces.

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6. The project site is currently developed with a fast food restaurant, surface parking for 44 vehicles, and perimeter landscaping.
7. Vehicle access to the site would be provided via the existing driveway along 108<sup>th</sup> Ave SE. No vehicle or pedestrian access is provided along 109<sup>th</sup> Ave SE.
8. The property is located within the Commercial Mixed Use Comprehensive Plan land use designation.
9. The site is located within the Commercial Arterial zoning classification.
10. There are approximately 26 trees located on site of which 17 are significant trees. The applicant is proposing to retain a total of three (3) trees.
11. The City's COR mapping system does not identify any critical areas or buffers on the subject property.
12. Approximately 2,720 cubic yards of material would be cut on site. Approximately 2,600 cubic yards would be removed and approximately 120 cubic yards would remain and be used as fill.
13. The applicant is proposing to begin construction during Summer 2017 and end in Fall 2017.
14. Staff received two (2) public comment letters (Exhibit 15). The applicant responded directly to the commentors (Exhibit 16) and this report contains analysis related to vegetation and access concerns raised by public comment letters.
15. Pursuant to the City of Renton's Environmental Ordinance and SEPA (RCW 43.21C, 1971 as amended), on March 6, 2017 the Environmental Review Committee issued a Determination of Non-Significance (DNS) for the Firestone @ 108<sup>th</sup> proposal (Exhibit 20). A 14-day appeal period will commence on March 10, 2017 and will end on March 24, 2017.
16. Representatives from various city departments have reviewed the application materials to identify and address issues raised by the proposed development. These comments are contained in the official file, and the essence of the comments has been incorporated into the appropriate sections of this report and the Departmental Recommendation at the end of this report.
17. **Comprehensive Plan Compliance:** The site is designated Commercial & Mixed Use (CMU) on the City's Comprehensive Plan Map. The purpose of the CMU designation is to allow residential uses as part of mixed-use developments, and support new office and commercial development that is more intensive than what exists to create a vibrant district and increase employment opportunities. The intention of this designation is to transform strip commercial development into business districts through the intensification of uses and with cohesive site planning, landscaping, signage, circulation, parking, and the provision of public amenity features. The proposal is compliant with the following Comprehensive Plan Goals and Policies if all conditions of approval are met:

Compliance	Comprehensive Plan Analysis
✓	<b>Goal L-BB:</b> Maintain a high quality of life as Renton grows by ensuring that new development is designed to be functional and attractive.
✓	<b>Goal L-FF:</b> Strengthen the visual identity of Renton and its Community Planning Areas and neighborhoods through quality design and development.
✓	<b>Policy L-48:</b> Accommodate change within the Renton community in a way that maintains Renton's livability and natural beauty.
✓	<b>Policy L-49:</b> Address privacy and quality of life for existing residents by considering scale and context in infill project design.
✓	<b>Policy L-52:</b> Include human-scale features such as pedestrian pathways, quality landscaping, and public spaces that have discernable edges, entries, and borders to



	create a distinctive sense of place in neighborhoods, commercial areas, and centers.
✓	<b>Policy L-53:</b> Orient buildings in developments toward the street or a common area, rather than toward parking lots.
✓	<b>Policy L-57:</b> Complement the built environment with landscaping using native, naturalized, and ornamental plantings that are appropriate for the situation and circumstance and which provide for respite, recreation, and sun/shade.
✓	<b>Policy L-61:</b> Improve the appearance of parking lots through landscaping and screening.

18. **Zoning Development Standard Compliance:** The purpose of the Commercial Arterial Zone (CA) is to evolve from “strip commercial” linear business districts to business areas characterized by enhanced site planning and pedestrian orientation, incorporating efficient parking lot design, coordinated access, amenities and boulevard treatment with greater densities. The CA Zone provides for a wide variety of retail sales, services, and other commercial activities along high-volume traffic corridors. Residential uses may be integrated into the zone through mixed-use buildings. The zone includes the designated Automall District. The proposal is compliant with the following development standards if all conditions of approval are met:

Compliance	CA Zone Develop Standards and Analysis
<b>Compliant if Conditional Use Permit stipulations are met</b>	<p><b>Use:</b> Vehicle Service and Repair, Small</p> <p><u>Staff Comment:</u> Vehicle service and repair, small is permitted in the CA zone with Administrative Conditional Use Permit approval. See FOF 19 Conditional Use Permit analysis for discussion of compliance.</p>
<b>N/A</b>	<p><b>Density:</b> The minimum density required in the CA zone is 10.0 dwelling units per net acre. The maximum density permitted is 60 dwelling units per net acre in the City Center and Highlands Community Planning Areas and 30 dwelling units per net acre in the East Plateau and Kenndale Community Planning Areas. Net density is calculated after the deduction of sensitive areas, areas intended for public right-of-way, and private access easements.</p> <p><u>Staff Comment:</u> Not applicable. The master application is for a non-residential use.</p>
<b>N/A</b>	<p><b>Lot Dimensions:</b> The minimum lot size required (lots created after Nov. 10, 2004) in the CA zone is 5,000 sq. ft. There are no minimum lot width or depth requirements.</p> <p><u>Staff Comment:</u> Not applicable. The lot was established prior to the reference date.</p>
✓	<p><b>Setbacks:</b> The minimum front yard setback is 15 ft. The minimum setback may be reduced to 0 ft. through the site plan review process, provided blank walls are not located within the reduced setback. A maximum front yard setback of 20 ft. is required. The minimum side yard along a street setback is 15 ft. The minimum setback may be reduced to 0 ft. through the site plan review process, provided blank walls are not located within the reduced setback. The maximum side yard along a street setback is 20 feet. There are no minimum side or rear yard setbacks, except 15 ft. if the lot abuts or is adjacent to a lot zoned residential.</p> <p><u>Staff Comment:</u> The setbacks noted in the table below are compliant for the building. However the site plan (Exhibit 3) shows the proposed monument sign located with the 15-foot front yard setback. The City's sign regulations (RMC 4-4-100E.2) require signs to comply with the zone's setback limitations. Placing the sign between 15 and 20 feet</p>

	<p>from the front property line is not a practical location for the visibility needs for the business on the subject property. Therefore, per the authority granted by RMC 4-2-120A: Setbacks, the applicant may locate the sign within the front yard so long as it does not interfere or cause to reduce any required landscaping.</p> <table><tr><th colspan="4">Setbacks for Proposed Firestone Building</th></tr><tr><th>West Front Yard</th><th>East Rear Yard</th><th>North Side Yard</th><th>South Side Yard</th></tr><tr><td>15' -16.5'</td><td>100'</td><td>66'</td><td>8'</td></tr></table>	Setbacks for Proposed Firestone Building				West Front Yard	East Rear Yard	North Side Yard	South Side Yard	15' -16.5'	100'	66'	8'
Setbacks for Proposed Firestone Building													
West Front Yard	East Rear Yard	North Side Yard	South Side Yard										
15' -16.5'	100'	66'	8'										
✓	<p><b>Building Standards:</b> The CA zone has a maximum building coverage 65% of total lot area or 75% if parking is provided within the building or within an on-site parking garage. The maximum building height permitted is 50 ft., except 60 ft. if the ground floor of the building is in commercial use.</p> <p><u>Staff Comment:</u> The proposed building's 8,261 square foot footprint will result in coverage of approximately 23-percent. The highest point of the proposed building will be 30-feet above finished grade, which is the top of ridge of the east and west ends of the building. The proposal complies with maximum building coverage and permitted building height requirements of the zone.</p>												
Compliant if conditions of approval are met	<p><b>Landscaping:</b> The City's landscape regulations (RMC 4-4-070) require a 10-foot landscape strip along all public street frontages. Additional minimum planting strip widths between the curb and sidewalk are established according to the street development standards of RMC 4-6-060. Street trees and, at a minimum, groundcover, are to be located in this area when present. Spacing standards shall be as stipulated by the Department of Community and Economic Development, provided there shall be a minimum of one street tree planted per address. Any additional undeveloped right-of-way areas shall be landscaped unless otherwise determined by the Administrator.</p> <p>All parking lots shall have perimeter landscaping as follows:</p> <p>Such landscaping shall be at least ten feet (10') in width as measured from the street right-of-way. Standards for planting shall be as follows:</p> <ul style="list-style-type: none"><li>a. Trees shall be two inches (2") in diameter at breast height (dbh) for multi-family, commercial, and industrial uses at an average minimum rate of one tree per thirty (30) lineal feet of street frontage.</li><li>b. Shrubs at the minimum rate of one per twenty (20) square feet of landscaped area. Up to fifty percent (50%) of shrubs may be deciduous.</li><li>c. Ground cover in sufficient quantities to provide at least ninety percent (90%) coverage of the landscaped area within three (3) years of installation.</li></ul> <p>Surface parking lots with more than fourteen (14) stalls shall be landscaped as follows:</p> <p>Surface parking lots with between 15 and 50 spaces shall provide 15 sf of landscaping per parking space, 51 and 99 spaces shall provide 25 sf of landscaping per parking space, and 100 or more spaces shall provide 35 sf of landscaping per parking space. Perimeter parking lot landscaping shall be at least 10 feet in width, interior parking lot landscaped areas shall have a minimum width of 5 feet.</p> <p><u>Staff Comment:</u> The applicant is proposing a range of perimeter landscaping around the subject property that provides appropriate widths for the street frontage landscaping, perimeter parking lot landscaping, interior parking lot landscaping, and partially sight obscuring landscaping. A conceptual landscape plan and plant schedule was submitted with the project application (Exhibit 5). Proposed tree species include</p>												

Parkway Maple, Capital Flowering Pear, and Austrian Black Pine. Proposed shrubs consist of Emerald Green Arborvitae, Dwarf Winged Euonymus, Compact Oregon Grape, Dwarf English Laurel, PJM Rhododendron, Spirea, and Dense Spreading Yew. Groundcover plantings include Kinnikinnick, Cotoneaster, Salal, and Blue Oat Grass.

Ten (10) feet of street frontage landscaping is required to be planted on the subject property along 108<sup>th</sup> Ave SE. The proposed landscape plan shows three (3) Parkway Maple trees, Dense Spreading Yew, and Blue Oat Grass provided in a 10 to 11 foot wide planting area south of the subject property's driveway. A pedestrian pathway bisects the street frontage landscaping, shifts 90-degrees and runs parallel with the building and then shifts 90-degrees again and leads to the entrance. The number of shifts along the frontage is unnecessary and will likely lead to pedestrians walking on the landscaped area as it presents the shortest distance between the sidewalk and the entrance. Therefore staff recommends as a condition of approval, the applicant submit revised landscape plan that provides a direct perpendicular connection from the street frontage building entrance to the sidewalk. The revised landscape plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.

North of the subject property's driveway, a ten (10) foot wide perimeter parking lot landscaping screen is shown with one (1) Parkway Maple tree, five (5) Dense Spreading Yew, and Blue Oat Grass within a 240 square foot planting area. The amount of shrubs shown does not meet the minimum planting rate of one (1) per 20 square feet of landscaped area. Therefore staff recommends as a condition of approval, the applicant submit a revised landscape plan that provides a minimum of seven (7) additional shrubs within the perimeter parking lot landscaping screen. The revised landscape plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.

Interior parking lot landscaping is provided via bulb extensions that are at least five (5) feet in width extending from perimeter landscaping. The bulbs provide approximately 771 square feet of interior lot landscaping which exceeds the 15 square feet per parking space requirement; however three (3) of the five (5) interior bulbs do not contain any shrubs as required. Therefore, staff recommends as a condition of approval the applicant submit a revised landscape plan that provides the shrubs within the interior parking lot landscaping bulbs at the required rate of one per 20 square feet of landscaped area. The revised landscape plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.

The site abuts a residential zoned lot along on the northwest portion of the site. The landscape plan provides a 15-foot wide planting area with seven (7) Incense Cedar trees planted 11-feet on center with Dwarf Winged Euonymus, PJM Rhododendron, Arborvitae, and Salal planted at the base of the trees. The planting should provide the required minimum of 50-percent sight-obscuring screen intended for the visual barrier.

The applicant has provided a 37-foot wide landscaped area along the eastern portion of the property that provides a mix of deciduous and evergreen trees, shrubs, groundcover, and the retained significant trees. Additional analysis for this area is provided in the tree retention section below and Finding of Fact (FOF) 19 Conditional Use Analysis.

<p><b>Compliant if condition of approval is met</b></p>	<p><b>Tree Retention:</b> The City's adopted Tree Retention and Land Clearing Regulations require the retention of 10 percent of trees in a commercial development.</p> <p>Significant trees shall be retained in the following priority order:</p> <p>Priority One: Landmark trees; significant trees that form a continuous canopy; significant trees on slopes greater than twenty percent (20%); Significant trees adjacent to critical areas and their associated buffers; and Significant trees over sixty feet (60') in height or greater than eighteen inches ( 18") caliper.</p> <p>Priority Two: Healthy tree groupings whose associated undergrowth can be preserved; other significant native evergreen or deciduous trees; and Other significant non-native trees.</p> <p>Priority Three: Alders and cottonwoods shall be retained when all other trees have been evaluated for retention and are not able to be retained, unless the alders and/ or cottonwoods are used as part of an approved enhancement project within a critical area or its buffer.</p> <p><u>Staff Comment:</u> The applicant initially provided a Tree Retention Plan prepared by Washington Forestry Consultant, dated September 23, 2016 (Exhibit 9) with the land use application. The tree inventory identifies the primary species found on the subject property as Sitka Spruce, Scotch Pine, and Red Alder. The 26 surveyed trees range between 6 to 26 inches DBH. Overall the report found the trees to be in very poor to fair health. Of the site's 26 trees, 9 trees were evaluated as non-significant as they contained structural defects and/or were in substandard health, resulting in the subject property containing 17 significant trees. The applicant would be required to retain two (2) significant trees to meet the 10-percent retention requirement.</p> <p>The initial plan proposed by the applicant as shown in the Tree Retention Plan was to retain one (1) significant tree and request approval to plant 12-caliper inches of new trees for replacement. During the application review process, staff and the applicant identified an opportunity maintain 37-feet of landscaping along the eastern portion of the property that would provide the retention of three (3) significant trees as shown on the Landscape Plan (Exhibit 5), thereby meeting the 10-percent retention requirement. However, a revised tree retention plan with tree protection measures was not resubmitted. Therefore staff recommends as a condition of approval, the applicant resubmit a revised tree retention plan that identifies the three (3) retained trees and provides the protection measures during construction as identified below. The revised tree retention plan shall be submitted with the construction permit application to be reviewed and approved by the Current Planning Project Manager prior to construction permit approval.</p> <p>During construction, trees to be retained (i.e., protected trees), would be required to comply with the tree protection measures during construction (RMC 4-4-130H.9). The eight central components of tree protection include defining and protecting the drip line, erecting and maintaining a temporary six-foot-high chain link construction fence with placards around the tree to be retained, protecting the tree from grade changes, keeping the area clear of impervious surface material, restricting grading within the drip line, providing 3" of bark mulch within the required fencing, retaining a certified arborist to ensure trees are protected from development activities, and alternate protection/safeguards as necessary.</p>
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<p><b>Compliant is condition of approval is met</b></p>	<p><b>Vehicular Access:</b> A connection shall be provided for site-to-site vehicle access ways, where topographically feasible, to allow a smooth flow of traffic across abutting CA lots without the need to use a street. Access may comprise the aisle between rows of parking stalls, but is not allowed between a building and a public street.</p> <p><u>Staff Comment:</u> The applicant has provided an aisle connecting to the northern property but an extruded curb is shown on the perimeter. Therefore staff recommends as a condition of approval, the applicant submit a revised site plan that removes the extruded curb from the perimeter to fully provide the vehicle connection as required by code. The revised site plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.</p> <p>Topography along south abutting CA zoned property does not provide the appropriate grades to provide connections without significant grading and filling on the subject property to match neighboring grades.</p>
<p><b>Compliant if condition of approval is met</b></p>	<p><b>Parking:</b> Parking regulations require that a minimum and maximum of 2.5 spaces per 1,000 square feet of net area be provided for vehicle service and repair, small. A 25 percent reduction or increase from the minimum or maximum number is parking spaces may be granted through site plan review if the applicant can justify the modification to the satisfaction of the Administrator.</p> <p>Standard parking stall dimensions are 9 feet by 20 feet, compact stall dimensions are 8 ½ feet by 16 feet.</p> <p>The number of bicycle parking spaces shall be equal to ten percent (10%) of the number of required off-street vehicle parking spaces</p> <p><u>Staff Comment:</u> The applicant's proposed 8,261 square feet of net area within the new building results in a 21 parking space requirement. The applicant has requested a modification through the site plan review process to provide an additional three (3) spaces or 24 total parking spaces. The applicant contends a 14 percent increase in parking is justified based on the demand experienced at other Firestone stores in the area. The applicant further contends that neighboring jurisdictions allow nearly double the amount of parking and in one case do not cap the number of spaces for the use. The applicant cites the following cities and their maximum parking allowances for comparable development: Bellevue 42-spaces; Newcastle 46-spaces; and Burien – no maximum parking.</p> <p>Staff finds the addition of 3 additional parking spaces would not have a detrimental effect on the overall site plan or result in an over expanse of surface parking. Staff recommends approval of the 14 percent increase in parking as part of the site plan decision.</p> <p>The applicant has provided standard parking stalls in 9x18 foot dimensions and therefore requests the special reduced length for overhang. The overhang area does not intrude into any required landscape areas and therefore is permitted. Aisle widths within the parking lot exceed the minimum 24-foot width requirement for 90-degree spaces.</p> <p>The applicant has provided a space on the site plan for two bicycle parking spaces near the entrance to the building and within 50-feet of the ROW. Staff recommends as a condition of approval the applicant submit a revised site plan that provides a detail cut-sheet of the bicycle parking rack that complies with RMC 4-4-080E11b. The revised</p>



	<p><i>site plan with cut sheet shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.</i></p>
<p><b>Compliant if condition of approval is met</b></p>	<p><b>Fences and Retaining Walls:</b> A maximum of eight feet (8') anywhere on the lot provided the fence, retaining wall or hedge does not stand in or in front of any required landscaping or pose a traffic vision hazard.</p> <p>There shall be a minimum three-foot (3') landscaped setback at the base of retaining walls abutting public rights-of-way.</p> <p><u>Staff Comment:</u> The applicant has proposed a retaining wall approximately 69 linear feet along the southeast portion of the property. The site plan (Exhibit 3) notes the retaining wall is less than four feet high along the entire span. Retaining wall materials were not provided in the application materials, therefore, staff recommends as a condition of approval the applicant submit a revised landscaping plan that provides a detail cut sheet of the retaining wall materials that are composed of brick, rock, textured or patterned concrete, or other masonry product that complements the proposed building and site development. The revised landscape plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.</p> <p>The applicant also proposes a six (6) foot high chain link fence along the eastern portion of the property and along portions of the northeast and southeast perimeters. Staff has recommended conditions related to the location and aesthetics of the proposed fence in FOF 19 Conditional Use Analysis. Staff received public comments regarding limiting access through the subject property and into the abutting single-family residential neighborhood. See discussion of the concerns and recommended conditions in the Conditional Use Permit analysis in FOF 19.</p>
✓	<p><b>Refuse and Recyclables:</b> Per RMC 4-4-090 for retail developments a minimum of five (5) square feet per every 1,000 square feet of building gross floor area shall be provided for recyclables deposit areas and a minimum of ten (10) square feet per 1,000 square feet of building gross floor area shall be provided for refuse deposit areas. A total minimum area of 100 square feet shall be provided for recycling and refuse deposit areas.</p> <p><u>Staff Comment:</u> Based on the proposal for a total of 8,261 square feet of retail space; a minimum area of 123 square feet of refuse and recycle area would be required. The applicant is providing 174 square feet of refuse and recyclable deposit area at the southeast portion on the site. See FOF 18 Design District Review for design analysis and added condition. The applicant is requesting a modification to provide less than the required 15-foot vertical clearance for the gate opening. See FOF 18 Design District Review and FOF 24, Modification Analysis.</p>

19. **Design District Review:** The project site is located within Design District 'D'. The following table contains project elements intended to comply with the standards of the Design District 'D' Standards and guidelines, as outlined in RMC 4-3-100.E:

Compliance	Design District Guideline and Standard Analysis
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# **1. SITE DESIGN AND BUILDING LOCATION:**

**Intent:** To ensure that buildings are located in relation to streets and other buildings so that the Vision of the City of Renton can be realized for a high-density urban environment; so that businesses enjoy visibility from public rights-of-way; and to encourage pedestrian activity.

## **a. Building Location and Orientation:**

**Intent:** To ensure visibility of businesses and to establish active, lively uses along sidewalks and pedestrian pathways. To organize buildings for pedestrian use and so that natural light is available to other structures and open space. To ensure an appropriate transition between buildings, parking areas, and other land uses; and increase privacy for residential uses.

**Guidelines:** Developments shall enhance the mutual relationship of buildings with each other, as well as with the roads, open space, and pedestrian amenities while working to create a pedestrian oriented environment. Lots shall be configured to encourage variety and so that natural light is available to buildings and open space. The privacy of individuals in residential uses shall be provided for.

✓	<p><b>Standard:</b> The availability of natural light (both direct and reflected) and direct sun exposure to nearby buildings and open space (except parking areas) shall be considered when siting structures.</p> <p><u>Staff Comment:</u> The building is located along southern portion of the property. This building location and it's relatively minimal height results in little to no impact to solar exposure offsite. A majority of the daytime shading would likely occur in the parking area. See also FOF 20, Site Plan Review.</p>
✓	<p><b>Standard:</b> Buildings shall be oriented to the street with clear connections to the sidewalk.</p> <p><u>Staff Comment:</u> The building is oriented to 108<sup>th</sup> Ave SE. A five-foot wide pedestrian pathway is provided between the entry and the sidewalk. See FOF 17: Landscaping for the recommended condition realigning the proposed walkway.</p>
✓	<p><b>Standard:</b> The front entry of a building shall be oriented to the street or a landscaped pedestrian-only courtyard.</p> <p><u>Staff Comment:</u> The primary entry is oriented to 108<sup>th</sup> Ave SE. Architectural features emphasizing the entry include expansive glazing, weather protection, and gable-roof feature.</p>
N/A	<p><b>Standard:</b> Buildings with residential uses located at the street level shall be:</p> <ol style="list-style-type: none"> <li>Set back from the sidewalk a minimum of ten feet (10') and feature substantial landscaping between the sidewalk and the building; or</li> <li>Have the ground floor residential uses raised above street level for residents' privacy.</li> </ol> <p><u>Staff Comment:</u> Not applicable</p>

## **b. Building Entries:**

**Intent:** To make building entrances convenient to locate and easy to access, and ensure that building entries further the pedestrian nature of the fronting sidewalk and the urban character of the district.

**Guidelines:** Primary entries shall face the street, serve as a focal point, and allow space for social interaction. All entries shall include features that make them easily identifiable while reflecting the

architectural character of the building. The primary entry shall be the most visually prominent entry. Pedestrian access to the building from the sidewalk, parking lots, and/or other areas shall be provided and shall enhance the overall quality of the pedestrian experience on the site.	
✓	<p><b>Standard:</b> A primary entrance of each building shall be located on the facade facing a street, shall be prominent, visible from the street, connected by a walkway to the public sidewalk, and include human-scale elements.</p> <p><b>Staff Comment:</b> <i>The primary entrance is located along 108<sup>th</sup> Ave SE. The entrance is prominent via its gabled roof, signage, expansive glazing, and weather protection. The entrance is visible from the street and connected to the public sidewalk with a paved pedestrian connection. Human scaled elements are provided such as landscaping, paved pedestrian entry, bicycle rack, canopies, and glazing.</i></p>
✓	<p><b>Standard:</b> A primary entrance of each building shall be made visibly prominent by incorporating architectural features such as a facade overhang, trellis, large entry doors, and/or ornamental lighting.</p> <p><b>Staff Comment:</b> <i>The primary entrance contains ornamental lighting above the proposed signage and overhead canopy along a majority of the façade. See also Ground Level Details.</i></p>
✓	<p><b>Standard:</b> Building entries from a street shall be clearly marked with canopies, architectural elements, ornamental lighting, or landscaping and include weather protection at least four and one-half feet (4-1/2') wide. Buildings that are taller than thirty feet (30') in height shall also ensure that the weather protection is proportional to the distance above ground level.</p> <p><b>Staff Comment:</b> <i>The building's street entrance is marked with a gable roof feature, glazing, landscaping, and weather protection. The weather protection is approximately 10-feet above grade or approximately one-third the entrance façade height measured to the top of ridge. The weather protection extends 4.5-feet from the building façade. See also Ground Level Details.</i></p>
✓	<p><b>Standard:</b> Building entries from a parking lot shall be subordinate to those related to the street.</p> <p><b>Staff Comment:</b> <i>The parking lot entry is subordinate from the street entry as it contains lesser amounts of weather protection and glazing. The parking lot entrance also lacks the street frontage landscaping and direct pedestrian connection to the 108<sup>th</sup> Ave SE.</i></p>
✓	<p><b>Standard:</b> Features such as entries, lobbies, and display windows shall be oriented to a street or pedestrian-oriented space; otherwise, screening or decorative features should be incorporated.</p> <p><b>Staff Comment:</b> <i>See primary entrance discussion above.</i></p>
N/A	<p><b>Standard:</b> Multiple buildings on the same site shall direct views to building entries by providing a continuous network of pedestrian paths and open spaces that incorporate landscaping.</p> <p><b>Staff Comment:</b> <i>Not applicable. A single building is proposed for the subject property.</i></p>
N/A	<p><b>Standard:</b> Ground floor residential units that are directly accessible from the street shall include entries from front yards to provide transition space from the street or entries from an open space such as a courtyard or garden that is accessible from the street.</p>

	<i>Staff Comment: Not applicable</i>
	<p><b>c. Transition to Surrounding Development:</b></p> <p><b>Intent:</b> To shape redevelopment projects so that the character and value of Renton's long-established, existing neighborhoods are preserved.</p> <p><b>Guidelines:</b> Careful siting and design treatment shall be used to achieve a compatible transition where new buildings differ from surrounding development in terms of building height, bulk and scale.</p>
✓	<p><b>Standard:</b> At least one of the following design elements shall be used to promote a transition to surrounding uses:</p> <ol style="list-style-type: none"> <li>1. Building proportions, including step-backs on upper levels in accordance with the surrounding planned and existing land use forms; or</li> <li>2. Building articulation to divide a larger architectural element into smaller increments; or</li> <li>3. Roof lines, roof pitches, and roof shapes designed to reduce apparent bulk and transition with existing development.</li> </ol> <p>Additionally, the Administrator may require increased setbacks at the side or rear of a building in order to reduce the bulk and scale of larger buildings and/or so that sunlight reaches adjacent and/or abutting yards.</p> <p><i>Staff Comment: The proposed building is single-story, rectangular, and measures approximately 58-feet in width and 154-feet in length. The two highest points of the building are on the east and west portions of the rectangle and measure 30- feet at top of ridge from finished grade. Roof lines on each of the east and west sections are gabled and provide a transition to the neighboring single-family residential uses. The center of the building contains two vertical parapets approximately two-feet in height. The mix of gable and parapet roof forms assist in reducing apparent bulk and recognize neighboring residential areas.</i></p>
	<p><b>d. Service Element Location and Design:</b></p> <p><b>Intent:</b> To reduce the potential negative impacts of service elements (i.e., waste receptacles, loading docks) by locating service and loading areas away from high-volume pedestrian areas, and screening them from view in high visibility areas.</p> <p><b>Guidelines:</b> Service elements shall be concentrated and located so that impacts to pedestrians and other abutting uses are minimized. The impacts of service elements shall be mitigated with landscaping and an enclosure with fencing that is made of quality materials.</p>
✓	<p><b>Standard:</b> Service elements shall be located and designed to minimize the impacts on the pedestrian environment and adjacent uses. Service elements shall be concentrated and located where they are accessible to service vehicles and convenient for tenant use.</p> <p><i>Staff Comment: The building service area is located on the east portion of the subject property and away from pedestrian activity areas. The area is screened from the street by the building and landscaping.</i></p>
<b>Compliant if condition of approval is</b>	<p><b>Standard:</b> In addition to standard enclosure requirements, garbage, recycling collection, and utility areas shall be enclosed on all sides, including the roof and screened around their perimeter by a wall or fence and have self-closing doors.</p>

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met	<i><b>Staff Comment:</b> The garbage and enclosure area is screened on all sides via an eight-foot high brick enclosure with a cedar wood fence gate. A standing seam metal roof is also shown on the proposed elevations (Exhibit 17). Self-closing doors are not identified on the plan. Therefore, staff recommends as a condition of approval, the applicant submit a revised elevation plan that provides a detail cut sheet identifying the self-closing mechanism for the enclosure doors. The revised elevation plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.</i>
✓	<p><b>Standard:</b> Service enclosures shall be made of masonry, ornamental metal or wood, or some combination of the three (3).</p> <p><i><b>Staff Comment:</b> The enclosure is made of brick with aluminum fascia. Enclosure doors are comprised of 1x6 cedar fence pickets.</i></p>
N/A	<p><b>Standard:</b> If the service area is adjacent to a street, pathway, or pedestrian-oriented space, a landscaped planting strip, minimum 3 feet wide, shall be located on 3 sides of such facility.</p> <p><i><b>Staff Comment:</b> Not applicable. The enclosure is located in a service area that is adjacent to the rear of the building and away from pedestrian areas. The service area is also screened offsite by perimeter landscaping along the property boundaries.</i></p>
<p><b>e. Gateways:</b></p> <p><b>Intent:</b> To distinguish gateways as primary entrances to districts or to the City, special design features and architectural elements at gateways should be provided. While gateways should be distinctive within the context of the district, they should also be compatible with the district in form and scale.</p> <p><b>Guidelines:</b> Service elements shall be concentrated and located so that impacts to pedestrians and other abutting uses are minimized. The impacts of service elements shall be mitigated with landscaping and an enclosure with fencing that is made of quality materials.</p>	
N/A	<p><b>Standard:</b> Developments located at district gateways shall be marked with visually prominent features.</p> <p><i><b>Staff Comment:</b> Not applicable.</i></p>
N/A	<p><b>Standard:</b> Gateway elements shall be oriented toward and scaled for both pedestrians and vehicles.</p> <p><i><b>Staff Comment:</b> Not applicable.</i></p>
N/A	<p><b>Standard:</b> Visual prominence shall be distinguished by two (2) or more of the following:</p> <ul style="list-style-type: none"> <li>(a) Public art;</li> <li>(b) Special landscape treatment;</li> <li>(c) Open space/plaza;</li> <li>(d) Landmark building form;</li> <li>(e) Special paving, unique pedestrian scale lighting, or bollards;</li> <li>(f) Prominent architectural features (trellis, arbor, pergola, or gazebo);</li> <li>(g) Neighborhood or district entry identification (commercial signs do not qualify).</li> </ul> <p><i><b>Staff Comment:</b> Not applicable.</i></p>

## 2. PARKING AND VEHICULAR ACCESS:

**Intent:** To provide safe, convenient access to the Urban Center and the Center Village; incorporate various modes of transportation, including public mass transit, in order to reduce traffic volumes and other impacts from vehicles; ensure sufficient parking is provided, while encouraging creativity in reducing the impacts of parking areas; allow an active pedestrian environment by maintaining contiguous street frontages, without parking lot siting along sidewalks and building facades; minimize the visual impact of parking lots; and use access streets and parking to maintain an urban edge to the district.

### a. Surface Parking:

**Intent:** To maintain active pedestrian environments along streets by placing parking lots primarily in back of buildings.

**Guidelines:** Surface parking shall be located and designed so as to reduce the visual impact of the parking area and associated vehicles. Large areas of surface parking shall also be designed to accommodate future infill development.

✓	<p><b>Standard:</b> Parking shall be located so that no surface parking is located between:</p> <ul style="list-style-type: none"> <li>(a) A building and the front property line; and/or</li> <li>(b) A building and the side property line (when on a corner lot).</li> </ul> <p><i>Staff Comment:</i> No parking is proposed between the building and the front property line along 108<sup>th</sup> Ave SE. Landscaping and a pedestrian only connection to the public sidewalk is provided between the building and front property line. Parking is located along the side and rear portion of the property. The property is not a corner lot.</p>
✓	<p><b>Standard:</b> Parking shall be located so that it is screened from surrounding streets by buildings, landscaping, and/or gateway features as dictated by location.</p> <p><i>Staff Comment:</i> Parking is located so that it is screened from surrounding streets by landscaping. A 10-foot wide perimeter parking lot landscaping screen is provided between the parking area and 108<sup>th</sup> Ave SE. Parking along the rear portion of the property would be screened by a 37-foot wide landscaped area with retained mature trees and newly planted evergreen vegetation.</p>

### b. Structured Parking Garages:

**Intent:** To promote more efficient use of land needed for vehicle parking; encourage the use of structured parking; physically and visually integrate parking garages with other uses; and reduce the overall impact of parking garages.

**Guidelines:** Parking garages shall not dominate the streetscape; they shall be designed to be complementary with adjacent and abutting buildings. They shall be sited to complement, not subordinate, pedestrian entries. Similar forms, materials, and/or details to the primary building(s) should be used to enhance garages.

N/A	<p><b>Standard:</b> Parking structures shall provide space for ground floor commercial uses along street frontages at a minimum of seventy five percent (75%) of the building frontage width.</p> <p><i>Staff Comment:</i> Not applicable.</p>
N/A	<p><b>Standard:</b> The entire facade must feature a pedestrian-oriented facade. The Administrator of the Department of Community and Economic Development may approve parking structures that do not feature a pedestrian orientation in limited</p>

	<p>circumstances. If allowed, the structure shall be set back at least six feet (6') from the sidewalk and feature substantial landscaping. This landscaping shall include a combination of evergreen and deciduous trees, shrubs, and ground cover. This setback shall be increased to ten feet (10') when abutting a primary arterial and/or minor arterial.</p> <p><u>Staff Comment:</u> Not applicable.</p>
N/A	<p><b>Standard:</b> Public facing facades shall be articulated by arches, lintels, masonry trim, or other architectural elements and/or materials.</p> <p><u>Staff Comment:</u> Not applicable.</p>
N/A	<p><b>Standard:</b> The entry to the parking garage shall be located away from the primary street, to either the side or rear of the building.</p> <p><u>Staff Comment:</u> Not applicable.</p>
N/A	<p><b>Standard:</b> Parking garages at grade shall include screening or be enclosed from view with treatment such as walls, decorative grilles, trellis with landscaping, or a combination of treatments.</p> <p><u>Staff Comment:</u> Not applicable.</p>
N/A	<p><b>Standard:</b> The Administrator of the Department of Community and Economic Development or designee may allow a reduced setback where the applicant can successfully demonstrate that the landscaped area and/or other design treatment meets the intent of these standards and guidelines. Possible treatments to reduce the setback include landscaping components plus one or more of the following integrated with the architectural design of the building:</p> <ul style="list-style-type: none"> <li>(a) Ornamental grillwork (other than vertical bars);</li> <li>(b) Decorative artwork;</li> <li>(c) Display windows;</li> <li>(d) Brick, tile, or stone;</li> <li>(e) Pre-cast decorative panels;</li> <li>(f) Vine-covered trellis;</li> <li>(g) Raised landscaping beds with decorative materials; or</li> <li>(h) Other treatments that meet the intent of this standard...</li> </ul> <p><u>Staff Comment:</u> Not applicable.</p>
<p><b>c. Vehicular Access:</b></p> <p><b>Intent:</b> To maintain a contiguous and uninterrupted sidewalk by minimizing, consolidating, and/or eliminating vehicular access off streets.</p> <p><b>Guidelines:</b> Vehicular access to parking garages and parking lots shall not impede or interrupt pedestrian mobility. The impacts of curb cuts to pedestrian access on sidewalks shall be minimized.</p>	
<b>Compliant with Intent and Guidelines</b>	<p><b>Standard:</b> Access to parking lots and garages shall be from alleys, when available. If not available, access shall occur at side streets.</p> <p><u>Staff Comment:</u> Vehicular access is proposed to remain in the existing driveway along 108<sup>th</sup> Ave SE. No vehicle access is proposed along the 109<sup>th</sup> Ave SE frontage as it is a</p>



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	<p><i>residential access street that serves the abutting single-family residential neighborhood. Concerns from the neighboring residents relating to vehicle access on 109<sup>th</sup> Ave SE were provided during the public comment period (Exhibit 15). Existing commercial uses along 108<sup>th</sup> Ave SE do not provide access along 109<sup>th</sup> Ave SE. Limiting vehicle access to 108<sup>th</sup> Ave SE provides consistency with the surrounding development.</i></p>
✓	<p><b>Standard:</b> The number of driveways and curb cuts shall be minimized, so that pedestrian circulation along the sidewalk is minimally impeded.</p> <p><b>Staff Comment:</b> <i>The subject property contains and will continue to have one driveway along the 108<sup>th</sup> Ave SE frontage.</i></p>
<p><b>3. PEDESTRIAN ENVIRONMENT:</b></p> <p><b>Intent:</b> To enhance the urban character of development in the Urban Center and the Center Village by creating pedestrian networks and by providing strong links from streets and drives to building entrances; make the pedestrian environment safer and more convenient, comfortable, and pleasant to walk between businesses, on sidewalks, to and from access points, and through parking lots; and promote the use of multi-modal and public transportation systems in order to reduce other vehicular traffic.</p>	
<p><b>a. Pedestrian Circulation:</b></p> <p><b>Intent:</b> To create a network of linkages for pedestrians to improve safety and convenience and enhance the pedestrian environment.</p> <p><b>Guidelines:</b> The pedestrian environment shall be given priority and importance in the design of projects. Sidewalks and/or pathways shall be provided and shall provide safe access to buildings from parking areas. Providing pedestrian connections to abutting properties is an important aspect of connectivity and encourages pedestrian activity and shall be considered. Pathways shall be easily identifiable to pedestrians and drivers.</p>	
✓	<p><b>Standard:</b> A pedestrian circulation system of pathways that are clearly delineated and connect buildings, open space, and parking areas with the sidewalk system and abutting properties shall be provided.</p> <p>(a) Pathways shall be located so that there are clear sight lines, to increase safety.</p> <p>(b) Pathways shall be an all-weather or permeable walking surface, unless the applicant can demonstrate that the proposed surface is appropriate for the anticipated number of users and complementary to the design of the development.</p> <p><b>Staff Comment:</b> <i>A 5-foot wide pedestrian pathway is provided from primary entrance along 108<sup>th</sup> Ave SE to the public sidewalk. Staff recommended as a condition of approval in FOF 17 the pathway be realigned perpendicular to the building in order to reduce the potential for pedestrians to cross through the street frontage landscaping. This condition also results in the pathway having a clear sight line between the building and the sidewalk.</i></p> <p><i>A 5-foot wide pedestrian pathway is also provided along the street façade and wraps to the north entrance where the pedestrian path flares to 8.5-feet in width.</i></p> <p><i>Pathways are shown a typical concrete sidewalk pavement.</i></p>
<b>Compliant with Intent and Guidelines</b>	<p><b>Standard:</b> Pathways within parking areas shall be provided and differentiated by material or texture (i.e., raised walkway, stamped concrete, or pavers) from abutting paving materials. Permeable materials are encouraged. The pathways shall be perpendicular to the applicable building facade and no greater than one hundred fifty</p>

	<p>feet (150') apart.</p> <p><i>Staff Comment: A single row of parking is proposed across from the building's vehicle repair bay doors and along the rear portion of the property. Areas for pathways within the parking area would likely be awkward and potentially confusing due to the site layout as the entrance is near the street. Any pedestrian pathway to serve most of the parking spaces would likely run parallel with the building instead of perpendicular as intended.</i></p> <p><i>Pedestrians would have a relatively short distance from their vehicles to the entrance and therefore a delineated pathway for this site would be unnecessary.</i></p>
✓	<p><b>Standard:</b> Sidewalks and pathways along the facades of buildings shall be of sufficient width to accommodate anticipated numbers of users. Specifically:</p> <p>(a) Sidewalks and pathways along the facades of mixed use and retail buildings 100 or more feet in width (measured along the facade) shall provide sidewalks at least 12 feet in width. The walkway shall include an 8 foot minimum unobstructed walking surface.</p> <p>(b) Interior pathways shall be provided and shall vary in width to establish a hierarchy. The widths shall be based on the intended number of users; to be no smaller than five feet (5') and no greater than twelve feet (12').</p> <p>(c) For all other interior pathways, the proposed walkway shall be of sufficient width to accommodate the anticipated number of users.</p> <p><i>Staff Comment: The pathway from the ROW to the building and extension along the street-side (west) façade is 5-feet in width. An interior pathway/plaza area is 8.5-feet in width.</i></p>
N/A	<p><b>Standard:</b> Mid-block connections between buildings shall be provided.</p>
<p><b>b. Pedestrian Amenities:</b></p> <p><b>Intent:</b> To create attractive spaces that unify the building and street environments and are inviting and comfortable for pedestrians; and provide publicly accessible areas that function for a variety of year-round activities, under typical seasonal weather conditions.</p> <p><b>Guidelines:</b> The pedestrian environment shall be given priority and importance in the design of projects. Amenities that encourage pedestrian use and enhance the pedestrian experience shall be included.</p>	
Compliant if Condition of Approval is met.	<p><b>Standard:</b> Architectural elements that incorporate plants, particularly at building entrances, in publicly accessible spaces and at facades along streets, shall be provided.</p> <p><i>Staff Comment: A widened sidewalk/pedestrian plaza is provided along the north facade. Additionally, a pedestrian pathway extends from the public sidewalk to the street side (primary) entrance with the pathway extending along the entire street side façade. There are no architectural elements that incorporate plants at these public entrances shown on the landscape plan. Therefore staff recommends as a condition of approval, the applicant provide a minimum of two (2) planter containers near each of the two (2) public entrances. The landscape plan shall also provide additional width along pedestrian pathway extending outward from the building along the street side façade near the 108<sup>th</sup> Ave SE entrance to accommodate the additional pedestrian amenities. The revised landscape plan with cut sheets of the planter containers and</i></p>

	<i>widened paved entrance area shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.</i>
<b>Compliant if Condition of Approval is Met</b>	<p><b>Standard:</b> Amenities such as outdoor group seating, benches, transit shelters, fountains, and public art shall be provided.</p> <p>(a) Site furniture shall be made of durable, vandal- and weather-resistant materials that do not retain rainwater and can be reasonably maintained over an extended period of time.</p> <p>(b) Site furniture and amenities shall not impede or block pedestrian access to public spaces or building entrances.</p> <p><u>Staff Comment:</u> <i>There are no site furniture amenities currently shown on the site plan application. To fulfill outdoor pedestrian amenities requirements, staff recommends as a condition of approval, the applicant submit a revised site plan that provides a minimum of two (2) outdoor seating benches with detail cut sheets verifying the benches are made of durable, vandal- and weather-resistant materials to be located near each entrance area. The revised site plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.</i></p>
✓	<p><b>Standard:</b> Pedestrian overhead weather protection in the form of awnings, marquees, canopies, or building overhangs shall be provided. These elements shall be a minimum of four and one-half feet (4-1/2') wide along at least seventy five percent (75%) of the length of the building facade facing the street, a maximum height of fifteen feet (15') above the ground elevation, and no lower than eight feet (8') above ground level.</p> <p><u>Staff Comment:</u> <i>The applicant's site plan (Exhibit 3) and exterior elevations (Exhibit 11) provide overhead weather protection in the form of canopies that extend 4.5-feet from the building. The canopies span 50-feet (86-percent) along the street side façade. The height of the canopies is 10-feet above finished grade.</i></p>
<p><b>4. RECREATION AREAS AND COMMON OPEN SPACE:</b></p> <p><b>Intent:</b> To ensure that areas for both passive and active recreation are available to residents, workers, and visitors and that these areas are of sufficient size for the intended activity and in convenient locations. To create usable and inviting open space that is accessible to the public; and to promote pedestrian activity on streets particularly at street corners.</p> <p><b>Guidelines:</b> Developments located at street intersections should provide pedestrian-oriented space at the street corner to emphasize pedestrian activity (illustration below). Recreation and common open space areas are integral aspects of quality development that encourage pedestrians and users. These areas shall be provided in an amount that is adequate to be functional and usable; they shall also be landscaped and located so that they are appealing to users and pedestrians</p>	
<b>N/A</b>	<p><b>Standard:</b> All mixed use residential and attached housing developments of ten (10) or more dwelling units shall provide common opens space and/or recreation areas.</p> <p>(a) At minimum, fifty (50) square feet per unit shall be provided.</p> <p>(b) The location, layout, and proposed type of common space or recreation area shall be subject to approval by the Administrator.</p> <p>(c) Open space or recreation areas shall be located to provide sun and light</p>

	<p>exposure to the area and located so that they are aggregated to provide usable area(s) for residents.</p> <p>(d) At least one of the following shall be provided in each open space and/or recreation area (the Administrator may require more than one of the following elements for developments having more than one hundred (100) units):</p> <ul style="list-style-type: none"> <li>i. Courtyards, plazas, pea patches, or multi-purpose open spaces;</li> <li>ii. Upper level common decks, patios, terraces, or roof gardens. Such spaces above the street level must feature views or amenities that are unique to the site and are provided as an asset to the development;</li> <li>iii. Pedestrian corridors dedicated to passive recreation and separate from the public street system;</li> <li>iv. Recreation facilities including, but not limited to, tennis/sports courts, swimming pools, exercise areas, game rooms, or other similar facilities; or</li> <li>v. Children's play spaces that are centrally located near a majority of dwelling units and visible from surrounding units. They shall also be located away from hazardous areas such as garbage dumpsters, drainage facilities, and parking areas.</li> </ul> <p>(e) The following shall not be counted toward the common open space or recreation area requirement:</p> <ul style="list-style-type: none"> <li>i. Required landscaping, driveways, parking, or other vehicular use areas.</li> <li>ii. Required yard setback areas. Except for areas that are developed as private or semi-private (from abutting or adjacent properties) courtyards, plazas or passive use areas containing landscaping and fencing sufficient to create a fully usable area accessible to all residents of the development.</li> <li>iii. Private decks, balconies, and private ground floor open space.</li> <li>iv. Other required landscaping and sensitive area buffers without common access links, such as pedestrian trails.</li> </ul> <p><i>Staff Comment: Not applicable.</i></p>
<p>N/A</p>	<p><b>Standard:</b> All buildings and developments with over thirty thousand (30,000) square feet of nonresidential uses (excludes parking garage floorplate areas) shall provide pedestrian-oriented space.</p> <p>(a) The pedestrian-oriented space shall be provided according to the following formula: 1% of the site area + 1% of the gross building area, at minimum.</p> <p>(b) The pedestrian-oriented space shall include all of the following:</p> <ul style="list-style-type: none"> <li>i. Visual and pedestrian access (including barrier-free access) to the abutting structures from the public right-of-way or a nonvehicular courtyard; and</li> <li>ii. Paved walking surfaces of either concrete or approved unit paving; and</li> <li>iii. On-site or building-mounted lighting providing at least four (4) foot-candles (average) on the ground; and</li> <li>iv. At least three (3) lineal feet of seating area (bench, ledge, etc.) or one individual seat per sixty (60) square feet of plaza area or open space.</li> </ul>

	<p>(c) The following areas shall not count as pedestrian-oriented space:</p> <ul style="list-style-type: none"> <li>i. The minimum required walkway. However, where walkways are widened or enhanced beyond minimum requirements, the area may count as pedestrian-oriented space if the Administrator determines such space meets the definition of pedestrian-oriented space.</li> <li>ii. Areas that abut landscaped parking lots, chain link fences, blank walls, and/or dumpsters or service areas.</li> </ul> <p>(d) Outdoor storage (shopping carts, potting soil bags, firewood, etc.) is prohibited within pedestrian-oriented space.</p> <p><u>Staff Comment:</u> Not applicable</p>
N/A	<p><b>Standard:</b> Public plazas shall be provided at intersections identified in the Commercial Arterial Zone Public Plaza Locations Map and as listed below:</p> <ul style="list-style-type: none"> <li>(a) Benson Area: Benson Drive S./108th Avenue S.E. and S.E. 176th.</li> <li>(b) Bronson Area: Intersections with Bronson Way North at: <ul style="list-style-type: none"> <li>i. Factory Avenue N./Houser Way S.;</li> <li>ii. Garden Avenue N.; and</li> <li>iii. Park Avenue N. and N. First Street.</li> </ul> </li> <li>(c) Cascade Area: Intersection of 116th Avenue S.E. and S.E. 168th Street.</li> <li>(d) Northeast Fourth Area: Intersections with N.E. Fourth at: <ul style="list-style-type: none"> <li>i. Duvall Avenue N.E.;</li> <li>ii. Monroe Avenue N.E.; and</li> <li>iii. Union Avenue N.E.</li> </ul> </li> <li>(e) Grady Area: Intersections with Grady Way at: <ul style="list-style-type: none"> <li>i. Lind Avenue S.W.;</li> <li>ii. Rainier Avenue S.;</li> <li>iii. Shattuck Avenue S.; and</li> <li>iv. Talbot Road S.</li> </ul> </li> <li>(f) Puget Area: Intersection of S. Puget Drive and Benson Road S.</li> <li>(g) Rainier Avenue Area: Intersections with Rainier Avenue S. at: <ul style="list-style-type: none"> <li>i. Airport Way/Renton Avenue S.;</li> <li>ii. S. Second Street;</li> <li>iii. S. Third Street/S.W. Sunset Boulevard;</li> <li>iv. S. Fourth Street; and</li> <li>v. S. Seventh Street.</li> </ul> </li> <li>(h) North Renton Area: Intersections with Park Avenue N. at: <ul style="list-style-type: none"> <li>i. N. Fourth Street; and</li> <li>ii. N. Fifth Street.</li> </ul> </li> </ul>

	<p>(i) Northeast Sunset Area: Intersections with N.E. Sunset Boulevard at:</p> <p>i. Duvall Avenue N.E.; and</p> <p>ii. Union Avenue N.E.</p> <p><u>Staff Comment:</u> Not applicable</p>
N/A	<p><b>Standard:</b> The plaza shall measure no less than one thousand (1,000) square feet with a minimum dimension of twenty feet (20') on one side abutting the sidewalk.</p> <p><u>Staff Comment:</u> Not applicable</p>
N/A	<p><b>Standard:</b> The public plaza must be landscaped consistent with RMC 4-4-070, including at minimum street trees, decorative paving, pedestrian-scaled lighting, and seating.</p> <p><u>Staff Comment:</u> Not applicable</p>
<p><b>5. BUILDING ARCHITECTURAL DESIGN:</b></p> <p><b>Intent:</b> To encourage building design that is unique and urban in character, comfortable on a human scale, and uses appropriate building materials that are suitable for the Pacific Northwest climate. To discourage franchise retail architecture.</p>	
<p><b>a. Building Character and Massing:</b></p> <p><b>Intent:</b> To ensure that buildings are not bland and visually appear to be at a human scale; and ensure that all sides of a building, that can be seen by the public, are visually interesting.</p> <p><b>Guidelines:</b> Building facades shall be modulated and/or articulated to reduce the apparent size of buildings, break up long blank walls, add visual interest, and enhance the character of the neighborhood. Articulation, modulation, and their intervals should create a sense of scale important to residential buildings.</p>	
✓	<p><b>Standard:</b> All building facades shall include modulation or articulation at intervals of no more than forty feet (40').</p> <p><u>Staff Comment:</u> The north and west building facades provide articulation features such as brick banding, extensive glazing, clerestories, canopies, and overhead doors all within the 40-foot interval limitation.</p> <p>The south and east elevations contain are "back of house" and contain some material variation. The south elevation contains brick banding, glazing near the western portion of the façade, clerestory, and green screens. The east elevation (loading and service area) contains brick banding, and two service entry doors with canopies.</p>
✓	<p><b>Standard:</b> Modulations shall be a minimum of two feet (2') deep, sixteen feet (16') in height, and eight feet (8') in width.</p> <p><u>Staff Comment:</u> The site plan (Exhibit 3) and exterior elevations (Exhibit 11) provides modulations on the north and south elevations in depths ranging from two (2) to four (4) feet, heights ranging from 21 to 29 feet, and widths ranging from 13 to 26 feet.</p>
N/A	<p><b>Standard:</b> Buildings greater than one hundred sixty feet (160') in length shall provide a variety of modulations and articulations to reduce the apparent bulk and scale of the façade; or provide an additional special feature such as a clock tower, courtyard, fountain, or public gathering area.</p> <p><u>Staff Comment:</u> Not applicable. The building is 154-feet along the north and south facades.</p>



**b. Ground-Level Details:**

**Intent:** To ensure that buildings are visually interesting and reinforce the intended human-scale character of the pedestrian environment; and ensure that all sides of a building within near or distant public view have visual interest.

**Guidelines:** The use of material variations such as colors, brick, shingles, stucco, and horizontal wood siding is encouraged. The primary building entrance should be made visibly prominent by incorporating architectural features such as a facade overhang, trellis, large entry doors, and/or ornamental lighting (illustration below). Detail features should also be used, to include things such as decorative entry paving, street furniture (benches, etc.), and/or public art.

✓	<p><b>Standard:</b> Human-scaled elements such as a lighting fixture, trellis, or other landscape features shall be provided along the facade's ground floor.</p> <p><b>Staff Comment:</b> Staff has recommended conditions above that include seating and planting containers however these spaces would also benefit from pedestrian scaled decorative lighting fixtures. See Lighting section for condition.</p>
✓	<p><b>Standard:</b> On any facade visible to the public, transparent windows and/or doors are required to comprise at least 50 percent of the portion of the ground floor facade that is between 4 feet and 8 feet above ground (as measured on the true elevation).</p> <p><b>Staff Comment:</b> Extensive glazing is proposed along the north and west facades. These facades will be the most prominent and visible from the street. The street side façade (west) contains 60 percent and north side contains 66 percent. South and east facades are back-of-house and likely not visible from the street with landscaping and anticipated development to the south. The south façade does have glazing along the western portion of the building, which is likely the most visible of the façade, and clerestory glazing.</p>
N/A	<p><b>Standard:</b> Upper portions of building facades shall have clear windows with visibility into and out of the building. However, screening may be applied to provide shade and energy efficiency. The minimum amount of light transmittance for windows shall be 50 percent.</p> <p><b>Staff Comment:</b> Not applicable. The building is single story; however there will be clerestory glazing along the north and south facades.</p>
N/A	<p><b>Standard:</b> Display windows shall be designed for frequent change of merchandise, rather than permanent displays.</p> <p><b>Staff Comment:</b> Not applicable.</p>
✓	<p><b>Standard:</b> Where windows or storefronts occur, they must principally contain clear glazing.</p> <p><b>Staff Comment:</b> The elevation plan (Exhibit 11) identifies storefront windows and overhead door windows containing one-inch insulated clear safety glazing.</p>
✓	<p><b>Standard:</b> Tinted and dark glass, highly reflective (mirror-type) glass and film are prohibited.</p> <p><b>Staff Comment:</b> The elevation plan identifies clear safety glazing for all windows.</p>
✓	<p><b>Standard:</b> Untreated blank walls visible from public streets, sidewalks, or interior pedestrian pathways are prohibited. A wall (including building facades and retaining walls) is considered a blank wall if:</p>

	<p>(a) It is a ground floor wall or portion of a ground floor wall over 6 feet in height, has a horizontal length greater than 15 feet, and does not include a window, door, building modulation or other architectural detailing; or</p> <p>(b) Any portion of a ground floor wall has a surface area of 400 square feet or greater and does not include a window, door, building modulation or other architectural detailing.</p> <p><i>Staff Comment: The prominent facades visible from the street and pedestrian areas (west and north) are articulated as commented above and do not contain any blank walls. Back of house facades (south and east) will generally not be visible from streets and pedestrian areas. The south façade that will likely be visible and is articulated with glazing and a canopy on the west portion of the building with the remaining façade containing areas of clerestory and green screens. Brick banding also compliments the south façade. The east façade will be screened by a 37-foot wide landscaped area. The façade will contain two employee entrances with canopies and brick banding along the entire façade. The refuse and recycling enclosure will also be located along this façade.</i></p>
N/A	<p><b>Standard:</b> If blank walls are required or unavoidable, blank walls shall be treated with one or more of the following:</p> <p>(a) A planting bed at least five feet in width containing trees, shrubs, evergreen ground cover, or vines adjacent to the blank wall;</p> <p>(b) Trellis or other vine supports with evergreen climbing vines;</p> <p>(c) Architectural detailing such as reveals, contrasting materials, or other special detailing that meets the intent of this standard;</p> <p>(d) Artwork, such as bas-relief sculpture, mural, or similar; or</p> <p>(e) Seating area with special paving and seasonal planting.</p> <p><i>Staff Comment: Not applicable.</i></p>
<p><b>c. Building Roof Lines:</b></p> <p><b>Intent:</b> To ensure that roof forms provide distinctive profiles and interest consistent with an urban project and contribute to the visual continuity of the district.</p> <p><b>Guidelines:</b> Building roof lines shall be varied and include architectural elements to add visual interest to the building.</p>	
✓	<p><b>Standard:</b> Buildings shall use at least one of the following elements to create varied and interesting roof profiles:</p> <p>(a) Extended parapets;</p> <p>(b) Feature elements projecting above parapets;</p> <p>(c) Projected cornices;</p> <p>(d) Pitched or sloped roofs</p> <p>(e) Buildings containing predominantly residential uses shall have pitched roofs with a minimum slope of one to four (1:4) and shall have dormers or interesting roof forms that break up the massiveness of an uninterrupted sloping roof.</p> <p><i>Staff Comment: The applicant has proposed two varied roof profiles as shown on the elevation plan (Exhibit 11). The middle section of the building contains extended</i></p>

	<i>parapets with gable roof forms on each end.</i>
<b>d. Building Materials:</b>  <b>Intent:</b> To ensure high standards of quality and effective maintenance over time; encourage the use of materials that reduce the visual bulk of large buildings; and encourage the use of materials that add visual interest to the neighborhood.  <b>Guidelines:</b> Building materials are an important and integral part of the architectural design of a building that is attractive and of high quality. Material variation shall be used to create visual appeal and eliminate monotony of facades. This shall occur on all facades in a consistent manner. High quality materials shall be used. If materials like concrete or block walls are used they shall be enhanced to create variation and enhance their visual appeal.	
✓	<b>Standard:</b> All sides of buildings visible from a street, pathway, parking area, or open space shall be finished on all sides with the same building materials, detailing, and color scheme, or if different, with materials of the same quality.  <b>Staff Comment:</b> <i>The applicant proposes to finish the exterior with red brick and tan brick banding along the base and upper portions of the building (Exhibit 11). These treatments are provided all facades of the building. Storefront, clerestory, and roll-doors all contain clear safety glazing with storefront and clerestory one-inch thick and insulated.</i>
✓	<b>Standard:</b> All buildings shall use material variations such as colors, brick or metal banding, patterns or textural changes.  <b>Staff Comment:</b> <i>See comment above.</i>
✓	<b>Standard:</b> Materials, individually or in combination, shall have texture, pattern, and be detailed on all visible facades.  <b>Staff Comment:</b> <i>See comment above.</i>
✓	<b>Standard:</b> Materials shall be durable, high quality, and consistent with more traditional urban development, such as brick, integrally colored concrete masonry, pre-finished metal, stone, steel, glass and cast-in-place concrete.  <b>Staff Comment:</b> <i>See comment above.</i>
N/A	<b>Standard:</b> <i>If concrete is used, walls shall be enhanced by techniques such as texturing, reveals, and/or coloring with a concrete coating or admixture.</i>  <b>Staff Comment:</b> <i>Not applicable.</i>
N/A	<b>Standard:</b> <i>If concrete block walls are used, they shall be enhanced with integral color, textured blocks and colored mortar, decorative bond pattern and/or shall incorporate other masonry materials.</i>  <b>Staff Comment:</b> <i>Not applicable.</i>
✓	<b>Standard:</b> All buildings shall use material variations such as colors, brick or metal banding, patterns, or textural changes.  <b>Staff Comment:</b> <i>See comment above.</i>
<b>6. SIGNAGE:</b> In addition to the City's standard sign regulations, developments within Urban Design Districts C and D are also subject to the additional sign restrictions found in RMC 4-4-100G, urban design sign area regulations. Modifications to the standard requirements found in RMC 4-4-100G are possible for those proposals that can comply with the Design District criteria found in RMC 4-3-100F,	

Modification of Minimum Standards. For proposals unable to meet the modification criteria, a variance is required.	
<b>Compliance not yet demonstrated</b>	<p><b>Standard:</b> Signage shall be an integral part of the design approach to the building.</p> <p><u>Staff Comment:</u> A basic sign package was included with the application materials. The corporate logos and signs appear to be appropriately sized for their location. The applicant will be required to submit a sign permit in compliance with the Signage standards outlined in Design District 'D'. A sign permit would need to be reviewed and approved for any signs proposed.</p>
<b>N/A</b>	<p><b>Standard:</b> In mixed use and multi-use buildings, signage shall be coordinated with the overall building design.</p> <p><u>Staff Comment:</u> Not applicable.</p>
<b>Compliance not yet demonstrated</b>	<p><b>Standard:</b> Corporate logos and signs shall be sized appropriately for their location.</p> <p><u>Staff Comment:</u> See comment above.</p>
<b>Compliance not yet demonstrated</b>	<p><b>Standard:</b> Entry signs shall be limited to the name of the larger development.</p> <p><u>Staff Comment:</u> See comment above.</p>
<b>Compliance not yet demonstrated</b>	<p><b>Standard:</b> Alteration of trademarks notwithstanding, corporate signage should not be garish in color nor overly lit, although creative design, strong accent colors, and interesting surface materials and lighting techniques are encouraged.</p> <p><u>Staff Comment:</u> See comment above.</p>
<b>Compliance not yet demonstrated</b>	<p><b>Standard:</b> Front-lit, ground-mounted monument signs are the preferred type of freestanding sign.</p> <p><u>Staff Comment:</u> The applicant has indicated a monument sign on the site plan. Review for compliance with applicable sign code will occur with formal sign permit.</p>
<b>Compliance not yet demonstrated</b>	<p><b>Standard:</b> Blade type signs, proportional to the building facade on which they are mounted, are encouraged on pedestrian-oriented streets.</p> <p><u>Staff Comment:</u> Not applicable.</p>
<b>Compliance not yet demonstrated</b>	<p><b>Standard:</b> All of the following are prohibited:</p> <ul style="list-style-type: none"> <li>a. Pole signs;</li> <li>b. Roof signs; and</li> <li>c. Back-lit signs with letters or graphics on a plastic sheet (can signs or illuminated cabinet signs). Exceptions: Back-lit logo signs less than ten (10) square feet are permitted as area signs with only the individual letters back-lit (see illustration, subsection G8 of this Section).</li> </ul> <p><u>Staff Comment:</u> See comment above.</p>
<b>Compliance not yet demonstrated</b>	<p><b>Standard:</b> Freestanding ground-related monument signs, with the exception of primary entry signs, shall be limited to five feet (5') above finished grade, including support structure.</p> <p><u>Staff Comment:</u> See comment above.</p>

<p><b>Compliance not yet demonstrated</b></p>	<p><b>Standard:</b> Freestanding signs shall include decorative landscaping (ground cover and/or shrubs) to provide seasonal interest in the area surrounding the sign. Alternately, signage may incorporate stone, brick, or other decorative materials as approved by the Director.</p> <p><u>Staff Comment:</u> See comment above.</p>
<p><b>6. LIGHTING:</b></p> <p><b>Intent:</b> To ensure safety and security; provide adequate lighting levels in pedestrian areas such as plazas, pedestrian walkways, parking areas, building entries, and other public places; and increase the visual attractiveness of the area at all times of the day and night.</p> <p><b>Guidelines:</b> Lighting that improves pedestrian safety and also that creates visual interest in the building and site during the evening hours shall be provided.</p>	
<p><b>Compliant if Condition of Approval is met.</b></p>	<p><b>Standard:</b> Pedestrian-scale lighting shall be provided at primary and secondary building entrances. Examples include sconces on building facades, awnings with down-lighting and decorative street lighting.</p> <p><u>Staff Comment:</u> General lighting information was included in the site and elevation plans. Staff recommends as a condition of approval, the applicant submit a lighting plan that adequately provides for public safety without casting excessive glare on adjacent properties (See FOF 19). The lighting plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.</p> <p>The building elevations include black mounted light fixtures mounted at ten-feet above finished grade. Fixtures were noted as "typical" with no other detail provided. Therefore staff recommends as a condition of approval the applicant provide pedestrian scale decorative sconces along the west façade and near the parking lot entrance to comply with lighting and the previously noted ground level design standards. Sconce detail cut sheets shall be included on the lighting plan and submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.</p> <p>Parking lot lighting is shown on the site plan within landscape bulbs. See FOF 19 Conditional Use Analysis for conditions related to parking lot lighting.</p>
<p><b>Compliance not yet demonstrated</b></p>	<p><b>Standard:</b> Accent lighting shall also be provided on building facades (such as sconces) and/or to illuminate other key elements of the site such as gateways, specimen trees, other significant landscaping, water features, and/or artwork.</p> <p><u>Staff Comment:</u> See comment above.</p>
<p><b>Compliance not yet demonstrated</b></p>	<p><b>Standard:</b> Downlighting shall be used in all cases to assure safe pedestrian and vehicular movement, unless alternative pedestrian scale lighting has been approved administratively or is specifically listed as exempt from provisions located in RMC 4-4-075, Lighting, Exterior On-Site (i.e., signage, governmental flags, temporary holiday or decorative lighting, right-of-way-lighting, etc.).</p> <p><u>Staff Comment:</u> See comment above.</p>

20. **Conditional Use Analysis:** The applicant is proposing a vehicle service and repair use in the CA zone. RMC 4-2-060L requires such uses in the CA zone to obtain administrative conditional use permit

approval in addition to any other applicable permits needed for the proposal. The proposal is compliant with the following conditional use criteria, pursuant to RMC 4-9-030, if all conditions of approval are met. Therefore, staff recommends approval of the requested Conditional Use Permit subject to conditions as noted below:

Compliance	Conditional Use Criteria and Analysis
<p><b>Compliant if Conditions of Approval are met.</b></p>	<p><b>a. Consistency with Plans and Regulations:</b> The proposed use shall be compatible with the general goals, objectives, policies and standards of the Comprehensive Plan, the zoning regulations and any other plans, programs, maps or ordinances of the City of Renton.</p> <p><i>Staff Comment: The proposed small vehicle service and repair use is allowed in the CA zoning classification with Conditional Use Permit approval along with the following general conditions:</i></p> <p><i>All operations shall be conducted entirely within an enclosed structure.</i></p> <ul style="list-style-type: none"> <li><i>Vehicles shall only be held on the property while being serviced and shall have an active repair or service invoice that shall be made available to the City upon the City's request.</i></li> <li><i>Vehicle storage before or after service shall not be allowed. Vehicles held on the site shall be subject to the screening and landscaping provisions in RMC 4-4-120, Storage Lots – Outside, unless enclosed within a building.</i></li> <li><i>Vehicle holding areas shall count toward the maximum lot coverage standard of the zone.</i></li> <li><i>Any overnight vehicle parking accessory to this use shall not be located in the front setback or in a side setback along a street.</i></li> </ul> <p><i>All operations conducted within the enclosed structure also includes the display of merchandise associated with the use and therefore the exterior display of tires, wheels, rims, and other vehicle parts are not permitted to be displayed outside of the building. These conditions for the vehicle service and repair use in the CA zone will also be conditions of this land use decision.</i></p> <p><i>The applicant has provided in their application, or will provide via conditions of this decision, improvements to the subject property that include a new 8,261 square foot commercial building that will be at a scale that transitions appropriately to the neighboring residential zone and constructed with distinctive, attractive, and high quality architectural details. New stormwater mitigation that will provide better flow control and now treat the polluted runoff that is generated by surface parking. New landscaping and a 37-foot wide vegetative buffer area along the eastern portion of the property is included with the project. See also FOFs 16 and 17 for Comprehensive Plan and zoning development compliance, respectively.</i></p>
<p>✓</p>	<p><b>b. Appropriate Location:</b> The proposed location shall not result in the detrimental overconcentration of a particular use within the City or within the immediate area of the proposed use. The proposed location shall be suited for the proposed use.</p> <p><i>Staff Comment: The proposed location is along a principal arterial and State Route 515. The Comprehensive Plan identifies principal arterials as streets and highways that connect major intra-city activity centers and have high traffic volumes. As such,</i></p>



	<p>locating vehicle service and repair uses along streets that are primarily used to move high volumes of vehicles is appropriate.</p> <p>Locating the proposed Firestone on the subject property does not result in an overconcentration of vehicle service and repair uses within the City or immediate area. The abutting property to the north is also a vehicle service and repair use; however the use is limited to quick vehicle oil and fluid changes and does not provide the expanded commercial retail and comprehensive repair components the Firestone stores offer.</p> <p>The subject property is suited for the proposed use as the applicant proposes an appropriately scaled structure that is oriented to the site's commercial frontage along 108<sup>th</sup> Ave SE and provides no access to the residential neighborhood frontage along 109<sup>th</sup> Ave SE. The frontage along the 109<sup>th</sup> Ave SE (approximately 37-feet in width) will remain unimproved (with the exception of a chainlink fence) containing only trees and vegetation that will continue to provide a buffer between the commercial area and single-family residential neighborhood.</p>
Compliant if Condition of Approval is met.	<p><b>c. Effect on Adjacent Properties:</b> The proposed use at the proposed location shall not result in substantial or undue adverse effects on adjacent property.</p> <p><u>Staff Comment:</u> The proposed use on the subject property will remain commercial as the previous use was a fast-food restaurant. Abutting properties to the north and south are also commercial properties. The abutting property along the northeast portion of the property is single-family residential. Adjacent properties to the west are a commercial shopping center and properties to the east are single-family residential.</p> <p>No substantial or undue effects are anticipated on adjacent property moving from the fast food restaurant use to the vehicle service and repair use. The single-family residential neighborhood will be buffered by a considerable landscaped area. Additionally, vehicle access will not be provided to the subject property along the 109<sup>th</sup> Ave SE frontage, matching previous conditions and consistent with other commercial uses containing through-lots along this block.</p> <p>During the public comment period, written comments were submitted to the Current Planning Project Manager and followed up by a phone conversation. Concerns regarding not only vehicle access, but also cut-through pedestrian access from 108<sup>th</sup> Ave SE to 109<sup>th</sup> Ave SE were expressed. The existing fast-food restaurant contains a dilapidated chainlink fence with broken slats between the surface parking lot and mature vegetation that provides a barrier to pedestrian cut-through traffic. The applicant has proposed a new 6-foot chainlink fence along the perimeter; however it is currently shown along the eastern property line following dedication. In order to closely replicate the current open space conditions that exist on the subject property and properties to the south, staff recommends as a condition of approval, the applicant submit a revised landscape plan that relocates the chainlink fence further west to the area between the parking lot and new plantings. Additionally, the proposed chainlink fence shall be vinyl coated green or black to provide an aesthetic compliment to the landscaping and overall site development. The revised landscape plan with cut sheets of the chainlink fence shall be submitted with the construction permit application to be reviewed and approved by the Current Planning Project Manager prior to construction permit approval.</p>
✓	<p><b>d. Compatibility:</b> The proposed use shall be compatible with the scale and</p>

	<p>character of the neighborhood.</p> <p><i>Staff Comment: The proposed building and overall site improvements are scaled proportionately and are compatible with the character of the neighborhood. Most of the building averages approximately 22-feet in height. The tallest portions of the building are along each end and are approximately 30-feet in height measured at the top of the gable-roof ridge. These heights are typical of a two-story single-family house with a gabled roof. Gabled roofs bookend the proposed building to recognize the neighboring single-family residential neighborhood. The building's footprint is limited to 23-percent of the lot and nearly 13 percent of the lot (eastern portion) will remain unimproved. Landscaping will be provided along the perimeter of the entire subject property to further compliment the new building.</i></p>
✓	<p><b>e. Parking:</b> Adequate parking is, or will be made, available.</p> <p><i>Staff Comment: The applicant is proposing to provide 24-surface parking spaces. City code requires a minimum and maximum of 2.5 parking spaces per 1,000 square feet of net area for vehicle service and repair uses. This requirement results in 21 parking spaces needed for the proposed use. The applicant has requested a modification as part of the site plan review application to increase the amount of parking spaces to 24 total spaces. Staff has recommended the increase be approved. The 24 surface parking spaces and the eight (8) vehicle bays within the building are anticipated to provide adequate parking on the subject property.</i></p>
✓	<p><b>f. Traffic:</b> The use shall ensure safe movement for vehicles and pedestrians and shall mitigate potential effects on the surrounding area.</p> <p><i>Staff Comment: The amount of vehicle traffic for the proposed vehicle service and repair use is anticipated to be less than what a typical drive-through fast food restaurant generates (Exhibit 12). The applicant will be required to install street frontage improvements along 108<sup>th</sup> Ave SE consisting of a new 8-foot wide planter strip and 8-foot wide sidewalk along the subject property's frontage (see FOF 21). There is currently only a 5-foot wide sidewalk with no planter. The new planter and expanded sidewalk provides a buffer between the arterial traffic and pedestrians. This new frontage street section will continue along this street as abutting properties redevelop. A 5-foot pedestrian only pathway from the public sidewalk to the primary entrance is also provided. A single curb cut for the subject property further reduces the potential for vehicle/pedestrian conflicts.</i></p>
<b>Compliant if Condition of Approval is met.</b>	<p><b>g. Noise, Light and Glare:</b> Potential noise, light and glare impacts from the proposed use shall be evaluated and mitigated.</p> <p><i>Staff Comment: As a condition to allow a vehicle service and repair use within the CA zone, all operations must be conducted entirely within an enclosed structure. Other than typical vehicle operating noises within the surface parking lot, the required condition should adequately mitigate potential noise impacts.</i></p> <p><i>Light trespass and glare onto the neighboring single-family residential neighborhood will need to continue to be evaluated and potentially mitigated. The surface parking lot contains lighting fixtures on the east parking area and near the northeastern abutting single-family residential lot. The proposed planting and landscaping width should provide some barrier to the property's exterior lighting, however it may not materialize until the vegetation is mature. Therefore staff recommends as a condition of approval, the applicant submit a lighting plan with photometric lighting analysis that provides the appropriate level of lighting for the</i></p>

	<p><i>parking lot and limits the impact to the neighboring single-family neighborhood as determined by the standards of Illuminating Engineering Society. Detail cut sheets of the lighting fixtures with cut-off luminaire shall be provided with the plan. The lighting plan and photometric lighting analysis shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.</i></p>
<p><b>Compliant if Condition of Approval is met.</b></p>	<p><b>h. Landscaping:</b> Landscaping shall be provided in all areas not occupied by buildings, paving, or critical areas. Additional landscaping may be required to buffer adjacent properties from potentially adverse effects of the proposed use.</p> <p><u>Staff Comment:</u> <i>The applicant has proposed landscaping along the entire perimeter of the subject property and within the surface parking lot. The required widths of street frontage landscaping, perimeter parking lot landscaping, internal lot landscaping, and partially sight obscuring landscaping have been met or exceeded. Conditions attached to this land use decision will confirm compliance with the quantities of planting in these areas.</i></p> <p><i>As mentioned throughout this administrative report, the applicant has provided a 37-foot wide landscaped area along the eastern portion of the property. The subject property and the two (2) properties to south were developed intensely on the commercial 108<sup>th</sup> Ave SE frontage with significant portions of their eastern boundaries remaining unimproved with mature evergreen trees and open space. This development occurred prior to the City's annexation of the neighborhood. In order to meet the City's current development requirements, the applicant has proposed to expand the built area of the subject property, which will result in extending into a portion of the eastern landscaped area. While a 37-foot wide buffer will remain between the 109<sup>th</sup> Ave SE and developed portions of the subject property, 14 significant trees will need to be removed and the overall width of the buffer will be reduced.</i></p> <p><i>City staff directed the applicant to investigate the viability of re-locating several of the Sitka Spruce trees located in the open space area. The applicant submitted an Arborist memo (Exhibit 18) providing analysis that transplanting any of the trees due to their marginal health, large size, and soil composition would not result in any likelihood of survival. Staff then directed the applicant to identify a comparable variety of evergreen tree for replacement planting and install the trees taller than the code required height of 6-feet for new trees. The applicant's landscape plan (Exhibit 5) identifies seven (7) Austrian Black Pine trees planted approximately 15-feet on-center at minimum heights of 8-9 feet. The three (3) retained significant trees, proposed black pine, evergreen shrubs, and Parkway Maple planted to mimic street trees will maintain the continuity of the 109<sup>th</sup> Ave SE landscape buffer shared with the two southern properties.</i></p> <p><i>If the proposed Austrian Black Pines are not available in 8-9 foot tall measurements, staff recommends as a condition of approval, any comparable alternative species be first approved by the Current Planning Project Manager and be a minimum of 8-9 feet tall at the time of planting. The applicant shall contact the Current Planning Project Manager following installation of the taller trees to confirm their height.</i></p>

21. **Site Plan Review:** Pursuant to RMC 4-9-200.B, Site Plan Review is required for development in the XX zoning classification when it is not exempt from Environmental (SEPA) Review. For Master Plan

applications compliance with the review criteria for Site Plans are analyzed at a general level of detail to ensure nothing would preclude the development of the Site Plan. Given Site Plan applications are evaluated for compliance with the specific requirements of the RMC 4-9-200.E.3 the following table contains project elements intended to comply with level of detail needed for both the Master and Site Plan requests:

Compliance	Site Plan Criteria and Analysis
Compliant if Conditions of Approval are Met	<p><b>a. Comprehensive Plan Compliance and consistency.</b></p> <p><u>Staff Comment:</u> See previous discussion under FOF 16, Comprehensive Plan Analysis.</p>
Compliant if Conditions of Approval are Met	<p><b>b. Zoning Compliance and Consistency.</b></p> <p><u>Staff Comment:</u> See discussion under FOF 17, Zoning Development Standard Compliance.</p>
Compliant if Conditions of Approval are Met	<p><b>c. Design Regulation Compliance and Consistency.</b></p> <p><u>Staff Comment:</u> See discussion under FOF 18, Design District Review.</p>
N/A	<p><b>d. Planned action ordinance and Development agreement Compliance and Consistency.</b></p>
Compliant if Conditions of Approval are met	<p><b>e. Off Site Impacts.</b></p>
	<p><b>Structures:</b> Restricting overscale structures and overconcentration of development on a particular portion of the site.</p> <p><u>Staff Comment:</u> See FOF 18, Design District Review: Building Character and Massing. The proposed building is consistent with the scale of existing structures in the neighborhood. The building is bookended with gabled roof structures and articulation intended to provide architectural interest along the retail street side (108<sup>th</sup> Ave SE) façade and provide a transition and recognition of the neighboring single-family residential area to the east. The building is approximately 30-feet in height measured from finished grade to top of ridge along the bookends and averages approximately 23-feet in height along the midsection or majority of the building.</p>
	<p><b>Circulation:</b> Providing desirable transitions and linkages between uses, streets, walkways and adjacent properties.</p> <p><u>Staff Comment:</u> The applicant is providing a five-foot wide pedestrian connection from the building to the sidewalk along 108<sup>th</sup> Ave SE. Per the street modification request (see FOF 21), the applicant will provide a new 8-foot wide public sidewalk along 108<sup>th</sup> Ave SE frontage abutting the subject property that will improve walking conditions along the street by also providing an 8-foot landscape strip between the vehicle travel lane and sidewalk.</p>
	<p><b>Loading and Storage Areas:</b> Locating, designing and screening storage areas, utilities, rooftop equipment, loading areas, and refuse and recyclables to minimize views from surrounding properties.</p> <p><u>Staff Comment:</u> The loading and refuse/recycling areas are screened by the building and landscaping screen on the north, east and south perimeter. The applicant has not shown any rooftop equipment on the elevation plan or provided a roof plan that identifies such equipment. Therefore, staff recommends as a condition of approval, the</p>

	<p><i>applicant submit a revised elevation plan that identifies any needed screening of rooftop equipment that shields the equipment from public view. The revised elevation plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.</i></p> <p><b>Views:</b> Recognizing the public benefit and desirability of maintaining visual accessibility to attractive natural features.</p> <p><u><i>Staff Comment:</i></u> <i>There are views into the valley, but no large attractive natural features on or near the site for which to maintain visual accessibility. Therefore, the proposed height of the structure is appropriate for this location. The applicant has proposed to limit the maximum height of structure to approximately 30-feet with the most of the proposed structure to approximately 23-feet which would mitigate view impacts from surrounding properties.</i></p> <p><b>Landscaping:</b> Using landscaping to provide transitions between development and surrounding properties to reduce noise and glare, maintain privacy, and generally enhance the appearance of the project.</p> <p><u><i>Staff Comment:</i></u> <i>See discussion under FOF 17, Zoning Development Standard: Landscaping. The applicant proposes to provide a partially sight obscuring landscaping along the northeast property line abutting the single-family property. Additionally the applicant will provide a 37-wide landscape and tree retention area along the eastern portion of the property. Street frontage landscaping and perimeter parking lot landscaping along 108<sup>th</sup> Ave SE enhance the appearance of the project.</i></p> <p><b>Lighting:</b> Designing and/or placing exterior lighting and glazing in order to avoid excessive brightness or glare to adjacent properties and streets.</p> <p><u><i>Staff Comment:</i></u> <i>A lighting plan was not provided with the application; therefore staff recommended that a lighting plan be provided at the time of building permit review (See Lighting discussion under FOF 18, Design Review: Lighting).</i></p>
<p>✓</p>	<p><b>f. On Site Impacts.</b></p> <p><b>Structure Placement:</b> Provisions for privacy and noise reduction by building placement, spacing and orientation.</p> <p><u><i>Staff Comment:</i></u> <i>While the project is located within a CA zoning district, the property abuts single-family residential zoning and uses. The building is located near the 108<sup>th</sup> Ave SE frontage and along the southern portion of the property, which are as far away from the abutting R-8 zone as possible. Additionally, a significant landscape screen is provided along the northeastern and eastern boundary to further shield the use from residential neighbors.</i></p> <p><b>Structure Scale:</b> Consideration of the scale of proposed structures in relation to natural characteristics, views and vistas, site amenities, sunlight, prevailing winds, and pedestrian and vehicle needs.</p> <p><u><i>Staff Comment:</i></u> <i>The massing of the proposed building is most prominent from the street frontage along 108<sup>th</sup> Ave SE. The scale and bulk of the building will be reduced through the use of differing materials on the building facades, building articulation, modulation, and roof profiles.</i></p> <p><i>The proposed building would result in a total building footprint of 8,261 square feet on the 0.88 acre resulting in building lot coverage of approximately 22 percent. The proposed building complies with the size and bulk requirements of the CA zone. The</i></p>



	<p><i>building allows for adequate light and air circulation to the surrounding buildings and uses in the area. The design of the addition and façade improvements would not result in excessive shading of the property. In addition, there is ample area surrounding the building to provide normal airflow.</i></p> <p><b>Natural Features:</b> Protection of the natural landscape by retaining existing vegetation and soils, using topography to reduce undue cutting and filling, and limiting impervious surfaces.</p> <p><u>Staff Comment:</u> <i>The site contains 17 significant trees of which 14 are proposed for removal. Renton Municipal Code requires that 10 percent of the significant trees on site be retained. The applicant is proposing to retain 18-percent of the property's significant trees thereby meeting the tree retention requirement. The applicant would be required to comply with protection measures for retained trees as set forth in RMC 4-4-130H.8 during construction.</i></p> <p><i>Topographically, the site is relatively flat. Soil removal will be necessary to construct new stormwater improvements and surface parking.</i></p> <p><b>Landscaping:</b> Use of landscaping to soften the appearance of parking areas, to provide shade and privacy where needed, to define and enhance open spaces, and generally to enhance the appearance of the project. Landscaping also includes the design and protection of planting areas so that they are less susceptible to damage from vehicles or pedestrian movements.</p> <p><u>Staff Comment:</u> <i>The landscaping is used to provide screening of the parking area from 108<sup>th</sup> Ave SE and the commercial use from the neighboring single-family residential uses. Additional landscaping is provided to enhance the pedestrian area near the building's street side entry. The landscaping softens the appearance of the parking areas and generally enhances the appearance of the project. See also FOF 17, Zoning Development Standard: Landscaping.</i></p>
✓	<p><b>g. Access</b></p> <p><b>Location and Consolidation:</b> Providing access points on side streets or frontage streets rather than directly onto arterial streets and consolidation of ingress and egress points on the site and, when feasible, with adjacent properties.</p> <p><u>Staff Comment:</u> <i>The subject property abuts two public street frontages, 108<sup>th</sup> Ave SE and 109<sup>th</sup> Ave SE. The existing and proposed development fronts 108<sup>th</sup> Ave SE with no existing or proposed access onto 109<sup>th</sup> Ave SE. 108<sup>th</sup> Ave SE is classified as a Principal Arterial Street. Existing right of way (ROW) width is approximately 100 feet. To meet the City's complete street standards for principal arterial streets, minimum right-of-way width is 113 feet. Dedication of 8 feet of right-of-way would be required for future road widening. However, staff would support a lesser standard to match the established curb line for 108th Ave SE. and the applicant install the principal arterial street required 8-foot planter strip and 8-foot sidewalk along the property frontage as part of the proposed development (See FOF 21). Improvements are to include the installation of an 8-foot wide planting strip, and 8- foot sidewalk, and street trees.</i></p> <p><i>The subject property abuts 109<sup>th</sup> Ave SE along the eastern frontage. 109<sup>th</sup> Ave SE is classified as a residential access road. The existing street is approximately 33-feet in width and has no frontage improvements on either side. Minimum right-of-way for this street designation is 53-feet. A dedication of 11.5-feet along the subject property's frontage would be required for future road widening. The applicant has submitted a</i></p>



	<p>modification (See FOF 22) from from street improvements and instead dedicate the required 11.5-feet of right-of-way and retain the existing frontage along 109<sup>th</sup> Ave SE.</p> <p>Access will remain a single curb cut along 108<sup>th</sup> Ave SE. No access is proposed or warranted along 109 Ave SE as this street is used for single-family residential access.</p> <p>The proposed development is expected to maintain the safety and efficiency of pedestrian and vehicle circulation on the site provided the applicant complies with all conditions of approval.</p>
	<p><b>Internal Circulation:</b> Promoting safety and efficiency of the internal circulation system, including the location, design and dimensions of vehicular and pedestrian access points, drives, parking, turnarounds, walkways, bikeways, and emergency access ways.</p> <p><u>Staff Comment:</u> Proposed improvements would maintain the existing safe and efficient vehicle circulation on the interior of the site. The site redevelopment would include 24 total parking stalls within the surface lot. The applicant has proposed a two-way drive aisle circulation pattern. The two-way drive aisles have a width of 30 feet for the 90-degree parking areas. A vehicle connection is provided with the abutting northern property for site-to-site access.</p> <p>A pedestrian connection from the building entrance to the existing public sidewalk network is proposed and will provide safe and efficient pedestrian access to and from the site.</p>
	<p><b>Loading and Delivery:</b> Separating loading and delivery areas from parking and pedestrian areas.</p> <p><u>Staff Comment:</u> Loading and delivery can occur in the back-of-house area of the subject property. The applicant has requested a modification to the 45-foot clear zone for the ground level loading area (FOF 23). The loading and delivery area is separated from pedestrian areas of the development.</p>
	<p><b>Transit and Bicycles:</b> Providing transit, carpools and bicycle facilities and access.</p> <p><u>Staff Comment:</u> Per RMC 4-4-080F.11.a bicycle parking spaces are required at 10% of the number of required off-street parking spaces. The site plan includes a bike rack in pedestrian plaza that indicates it would provide parking for up to two (2) bicycles. A condition of approval was recommended to provide a detail cut sheet to verify compliance with the bicycle parking standards, see FOF 17 Zoning and Development Standards: Parking.</p>
	<p><b>Pedestrians:</b> Providing safe and attractive pedestrian connections between parking areas, buildings, public sidewalks and adjacent properties.</p> <p><u>Staff Comment:</u> See FOF 18, Design District Compliance</p>
✓	<p><b>h. Open Space:</b> Incorporating open spaces to serve as distinctive project focal points and to provide adequate areas for passive and active recreation by the occupants/users of the site.</p> <p><u>Staff Comment:</u> Pedestrian areas would be provided (see FOF 18, Design District Compliance) near building entrances with landscaping. Additionally, the applicant will provide a 37-foot wide landscape and tree retention area along the eastern portion of the property.</p>
✓	<p><b>i. Views and Public Access:</b> When possible, providing view corridors to shorelines</p>

	<p>and Mt. Rainier, and incorporating public access to shorelines</p> <p><u>Staff Comment:</u> The proposed structure would not block view corridors to shorelines or Mt. Rainier. The public access requirement is not applicable to the proposal.</p>
✓	<p>j. <b>Natural Systems:</b> Arranging project elements to protect existing natural systems where applicable.</p> <p><u>Staff Comment:</u> No natural systems are located on the subject property with the exception of drainage flows. See drainage discussion below.</p>
✓	<p>k. <b>Services and Infrastructure:</b> Making available public services and facilities to accommodate the proposed use:</p> <p><b>Police and Fire.</b></p> <p><u>Staff Comment:</u> Police and Fire Prevention staff indicated that sufficient resources exist to furnish services to the proposed development; if the applicant provides Code required improvements and fees. A Fire Impact Fee, based on \$0.88 a square foot would be applicable to the proposal.</p> <p><b>Water and Sewer.</b></p> <p><u>Staff Comment:</u> Water and wastewater services are provided by Soos Creek Water and Sewer District. Copies of approved water and sewer plans from the Soos Creek Water and Sewer District shall be required prior to approval of the Civil Construction Permit.</p> <p><b>Drainage.</b></p> <p><u>Staff Comment:</u> A Technical Information Report (TIR) prepared by PacLand (Exhibit 7) was submitted with the application. No downstream flooding or erosion issues were identified in the drainage report. Based on the City of Renton's flow control map, this site falls within the Flow Control Duration Standard area matching Forested Site Conditions and is within the Black River Drainage Basin. The development would be subject to Full Drainage Review in accordance with the 2009 King County Surface Water Design Manual (KCSWDM) and the City of Renton Amendments to the KCSWDM. All core requirements and six special requirements are discussed in the TIR.</p> <p>As outlined in the drainage report, runoff is generated from the site by the existing restaurant building, asphalt parking lot, and concrete sidewalks. Drainage is collected and released to the City's system in 108<sup>th</sup> Ave SE. A swale is located on the northeast corner of the site that collects runoff from 109<sup>th</sup> Ave SE which then drains to a 36-inch detention pipe before it is discharged into the 108<sup>th</sup> Ave SE system.</p> <p>The proposed site hydrology with the redevelopment will preserve the general configuration with runoff flowing from east to west. Flows will collect in catch basins located throughout the site, which will then be treated and detained prior to being discharged into the City's system in 108<sup>th</sup> Ave SE. The existing detention pipe will be relocated to the northern portion of the site and continue to receive and detain runoff from 109<sup>th</sup> Ave SE. The TIR's flow control analysis resulted in the need for the site to provide additional detention capacity. The applicant proposes to install a subsurface open-bottom modular detention vault system beneath the surface parking lot (Exhibit 8). To comply with water quality requirements for the site, the applicant proposes to install a modular wetland system upstream of the detention facility. The modular wetland is intended to collect and treat runoff generated by pollution generating impervious surfaces. Runoff collected in the modular water quality and detention</p>

	<p>vaults will be conveyed to the existing City system in 108<sup>th</sup> Ave SE.</p> <p>The use of the proposed modular wetland and Oldcastle StormCapture detention vault will require the applicant to submit an adjustment request in accordance with the City Amendments to the 2009 KCSWDM.</p> <p>A surface water system development fee of \$0.641 per square foot of new impervious, but not less than \$1,608.00 will be due prior to issuance of the civil construction permit.</p> <p><b>Transportation.</b></p> <p><u>Staff Comment:</u> Access to the site would continue to be provided from the existing driveway along 108<sup>th</sup> Ave SE. The applicant submitted a Trip Generation Memorandum prepared by Transportation Engineering NW (Exhibit 12). The site generated traffic volumes that were calculated using data from the Institute of Transportation Engineers Trip Generation Manual, 9th Edition, (2009). Based on the calculations provided, the proposed vehicle service and repair development would result in a decrease in overall weekday trips compared with the site's existing fast food restaurant. During peak hours, the proposal would gain 16 net new trips during the weekday AM peak and have a net reduction of 13 trips in the weekday PM peak. As the proposed development would generate less than 20 net new trips during the weekday AM and PM peak hours, no traffic impact analysis would be required.</p> <p>Traffic created by the development would be mitigated by payment of transportation impact fees, meeting the City of Renton's transportation concurrency requirements (Exhibit 19) based upon a test of the citywide Transportation Plan, and installation of frontage improvements. The transportation impact fee will be based on a calculation from the ITE Manual at the time of building permit application.</p>
<b>N/A</b>	<p><b>I. Phasing:</b> The applicant is not requesting any additional phasing.</p>

22. **Modification Analysis:** The applicant is requesting a modification from RMC 4-6-060F2 in order to maintain the curb, gutter, and sidewalk along the subject property's 108<sup>th</sup> Ave SE frontage as it currently exists and not construct the Principal Arterial cross-section as provided in the minimum design standards. The proposal is not compliant with the following modification criteria referenced below, however staff would recommend a modification to the applicant's proposal of maintaining the existing curb line and constructing an 8-foot wide planter strip with street trees and 8-foot wide sidewalk with a dedication of a minimum of 2-feet to a maximum of 4-feet of right-of-way along the subject property's frontage in-lieu of constructing the code required Principal Arterial cross-section. This modified proposal is compliant with the following modification criteria pursuant to RMC 4-9-250, if all conditions of approval are met. Therefore, staff is recommending approval of the modified street frontage requirements modification, subject to conditions as noted below:

Compliance	Modification Criteria and Analysis
<b>Compliant if condition of approval is met</b>	<p>a. Substantially implements the policy direction of the policies and objectives of the Comprehensive Plan Land Use Element and the Community Design Element and the proposed modification is the minimum adjustment necessary to implement these policies and objectives.</p> <p><u>Staff Comment:</u> The Land Use Element of the Comprehensive Plan aims to create a safe, healthy, and attractive community. Goal L-BB specifically states that new development is designed to be functional and attractive to maintain a high quality of life. Foregoing</p>

	<p>the construction of the code required 8-foot wide planter strip with street trees and 8-foot sidewalk, when adequate space is available along the subject property frontage, does not result in a functional and attractive development. Staff concurs that widening the existing vehicle pavement width along the subject property's frontage would not be a functional improvement, however providing the Principal Arterial required 8-foot wide sidewalk with street trees and 8-foot wide sidewalk while maintaining the existing curb line is appropriate. Therefore staff recommends as a condition of approval, the applicant submit a revised Utilities Plan to be reviewed and approved by the Civil Plan Reviewer prior to Construction Permit Approval that provides the curb line in its existing location and adds an 8-foot planter strip and 8-foot sidewalk. The landscape plan shall also be revised to show approved street trees planted within 8-foot planter strip. Right-of-way dedication would be required along the subject property's 108th Ave SE frontage and will vary between 2-feet and 4-feet; subject to final survey.</p>
<p><b>Compliant if condition of approval is met</b></p>	<p>b. Will meet the objectives and safety, function, appearance, environmental protection and maintainability intended by the Code requirements, based upon sound engineering judgment.</p> <p><u>Staff Comment:</u> The applicant contends by not moving the curb, gutter, and sidewalk, the capacity of roadway, safety, appearance, environmental protection and maintainability remain unaffected.</p> <p>Staff concurs that leaving the curb and gutter in its current location will meet safety, function, appearance, environmental protection, and maintainability however right-of-way improvements may occur between the existing curb line and subject property line. Pedestrian improvements associated with Principal Arterials will enhance pedestrian safety, function, environmental protection, and maintainability without negatively impacting vehicle traffic. Constructing an 8-foot planter strip between the curb and sidewalk provides a buffer between pedestrians and vehicle traffic. The 8-foot planter strip offers an enhanced appearance and environmental lift by providing street trees and vegetation.</p>
✓	<p>c. Will not be injurious to other property(ies) in the vicinity.</p> <p><u>Staff Comment:</u> Constructing the modified improvements as recommended above will not be injurious to other properties in the vicinity. The applicant will construct the improvements along the subject property only and as future development occurs along this street, those properties will also be required to provide frontage improvements consistent with this approval.</p>
✓	<p>d. Conforms to the intent and purpose of the Code.</p> <p><u>Staff Comment:</u> The intent of the code is to have streets that can provide safe and maintainable access for vehicles and pedestrians. This modified approval maintains safe access for vehicles and further enhances safety for the pedestrians.</p>
✓	<p>e. Can be shown to be justified and required for the use and situation intended; and</p> <p><u>Staff Comment:</u> See comments under criterion 'b'.</p>
✓	<p>f. Will not create adverse impacts to other property(ies) in the vicinity.</p> <p><u>Staff Comment:</u> See comments under criterion 'c'.</p>

23. **Modification Analysis:** The applicant is requesting a modification from RMC 4-6-060F2 in order to maintain the existing improvements along 109<sup>th</sup> Ave SE. The proposal is compliant with the following modification criteria, pursuant to RMC 4-9-250, if all conditions of approval are met. Therefore, staff is recommending approval of the requested modification, subject to conditions as noted below:

Compliance	Modification Criteria and Analysis
✓	<p>a. Substantially implements the policy direction of the policies and objectives of the Comprehensive Plan Land Use Element and the Community Design Element and the proposed modification is the minimum adjustment necessary to implement these policies and objectives.</p> <p><u>Staff Comment:</u> <i>Safe, healthy, and attractive communities are key essentials to community design policies of the Comprehensive Plan's Land Use Element. These policies address walkable neighborhoods, safety and shared uses. The intent of the policies is to promote new development with walkable places that support grid and flexible grid street and pathway patterns, and are visually attractive, safe, and healthy environments. The requested street modification is consistent with these policy guidelines.</i></p>
Compliant if condition of approval is met	<p>b. Will meet the objectives and safety, function, appearance, environmental protection and maintainability intended by the Code requirements, based upon sound engineering judgment.</p> <p><u>Staff Comment:</u> <i>The applicant contends by not constructing the frontage improvement the capacity of roadway, safety, appearance, environmental protection, and maintainability remain unaffected.</i></p> <p><i>Staff concurs the proposed modification would meet the objectives of function and maintainability intended by the code requirements. However, staff recommends that the right of way dedication of 11.5-feet be a condition of approval for the project in order to provide for the opportunity for the City at a later date to make the required changes to the roadway.</i></p>
✓	<p>c. Will not be injurious to other property(ies) in the vicinity.</p> <p><u>Staff Comment:</u> <i>Should the requested modification be approved, it would not be injurious to other properties within the vicinity of the subject site as it would maintain the existing frontage allowing a consistent travel corridor for vehicles and pedestrians.</i></p>
✓	<p>d. Conforms to the intent and purpose of the Code.</p> <p><u>Staff Comment:</u> <i>See comments under criterion 'b'.</i></p>
Compliant if condition of approval is met	<p>e. Can be shown to be justified and required for the use and situation intended; and</p> <p><u>Staff Comment:</u> <i>Provided that the recommended condition of approval is met, the modification will maintain a safe design for vehicles and pedestrians as well as provide a consistent appearance along the street frontage which will be beneficial to the subject property and surrounding property owners.</i></p>
✓	<p>f. Will not create adverse impacts to other property(ies) in the vicinity.</p> <p><u>Staff Comment:</u> <i>See comments under criterion 'c'.</i></p>

24. **Modification Analysis:** The applicant is requesting a modification from RMC 4-4-080J.5 in order to reduce the minimum 45-foot clear area in front of a ground level loading door. The proposal is



compliant with the following modification criteria, pursuant to RMC 4-9-250. Therefore, staff is recommending approval of the requested modification.

Compliance	Modification Criteria and Analysis
✓	<p>a. Substantially implements the policy direction of the policies and objectives of the Comprehensive Plan Land Use Element and the Community Design Element and the proposed modification is the minimum adjustment necessary to implement these policies and objectives.</p> <p><i>Staff Comment: Locating the delivery area on the east portion of the property or back-of-house is preferred for both aesthetic reasons and also to reduce conflicts between deliveries and customers. Additionally, providing a meaningful landscape buffer such as the 37-foot wide area along the eastern portion of the property between the commercial area and adjacent residential neighborhood is a benefit. These two beneficial outcomes result in the reduction of available space and the need to reduce the clear area in front of the ground level loading door on the east façade. The proposed reduction to 16-feet of clear area is the minimum adjustment necessary to provide the superior design. See also FOF 16, Comprehensive Plan Analysis.</i></p>
✓	<p>b. Will meet the objectives and safety, function, appearance, environmental protection and maintainability intended by the Code requirements, based upon sound engineering judgment.</p> <p><i>Staff Comment: The applicant contends the loading for the proposed development will be performed by delivery trucks backing up to the loading doors in the north-south direction (parallel to the building). As such, a 45-foot clear area perpendicular to the door is not needed. A large maneuvering area is incorporated to provide delivery trucks adequate room to make the necessary turning movements.</i></p> <p><i>Staff concurs the proposed modification would meet the objectives of function and maintainability intended by the code requirements. The modification would not result in delivery vehicles needing to use the ROW for loading or unloading merchandise. Additionally, the parking area would not be impacted by the reduced clear area as the 30-foot aisle width and marked loading zone area provide the appropriate space for delivery trucks used by this business.</i></p>
✓	<p>c. Will not be injurious to other property(ies) in the vicinity.</p> <p><i>Staff Comment: The proposed delivery area is wholly located on the subject property and located as far as possible from pedestrian and high customer traffic areas. By reducing the minimum clear area width, the applicant is able to maintain the large buffer area on the eastern portion of the property adjacent to the single-family residential neighborhood.</i></p>
✓	<p>d. Conforms to the intent and purpose of the Code.</p> <p><i>Staff Comment: The reduced delivery clear area maintains the intent and purpose of the code by providing adequate loading space on the subject property without the need to utilize or impede the adjacent public streets or conflict the other site elements such as parked vehicles.</i></p>
✓	<p>e. Can be shown to be justified and required for the use and situation intended; and</p> <p><i>Staff Comment: See comments under criterion 'b'.</i></p>
✓	<p>f. Will not create adverse impacts to other property(ies) in the vicinity.</p>



	<u>Staff Comment:</u> See comments under criterion 'c'.
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25. **Modification Analysis:** The applicant is requesting a modification from RMC 4-9-090C.10 in order to reduce the vertical clearance height of at least 15-feet for the refuse and recycling enclosure. The proposal is compliant with the following modification criteria, pursuant to RMC 4-9-250. Therefore, staff is recommending approval of the requested modification.

Compliance	Modification Criteria and Analysis
✓	<p>a. Substantially implements the policy direction of the policies and objectives of the Comprehensive Plan Land Use Element and the Community Design Element and the proposed modification is the minimum adjustment necessary to implement these policies and objectives.</p> <p><u>Staff Comment:</u> The Comprehensive Plan's Land Use Element endeavors to strengthen the visual identity of the City and its Community Planning Areas and neighborhoods through quality design and development. The applicant's proposed building is of modest height with a majority of the building averaging approximately 22-feet in height and the bookends at 30-feet measured to the top of ridge. A covered refuse and recycling enclosure with a roof extending 15-feet in height would result in a service element out of scale and overly dominant in relation to the property's primary structure. Reducing the vertical clearance height to eight-feet reflects a more appropriate scale as measured by the primary structure and is the minimum adjustment necessary. See also FOF 16, Comprehensive Plan Analysis.</p>
✓	<p>b. Will meet the objectives and safety, function, appearance, environmental protection and maintainability intended by the Code requirements, based upon sound engineering judgment.</p> <p><u>Staff Comment:</u> The applicant contends the reduced vertical clearing height maintains the ability for the refuse and recycling haulers to access the dumpsters inside the enclosure.</p> <p>Staff concurs the proposed modification would meet the objectives of function and maintainability intended by the code requirements. Haulers maintain adequate space to roll the dumpsters out of the enclosure and connect their truck. Additionally, the enclosure is proposed to have a horizontal clearance of approximately 20-feet providing the maneuverability needed to access the dumpsters.</p>
✓	<p>c. Will not be injurious to other property(ies) in the vicinity.</p> <p><u>Staff Comment:</u> The vertical clearance reduction will result in less of a visual impact and dominance of a service element as compared to the principal structure. Reducing its height will reduce the ability to see the enclosure offsite.</p>
✓	<p>d. Conforms to the intent and purpose of the Code.</p> <p><u>Staff Comment:</u> See comments under criterion 'b'.</p>
✓	<p>e. Can be shown to be justified and required for the use and situation intended; and</p> <p><u>Staff Comment:</u> The modified clearance provides a design that better compliments the architecture of the buildings. The required 15-foot clearance would result in a roof structure that would be nearly two-thirds the height of the majority of the building.</p>

✓	f. Will not create adverse impacts to other property(ies) in the vicinity. <u>Staff Comment:</u> See comments under criterion 'c'.
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#### **I. CONCLUSIONS:**

1. The subject site is located in the Commercial Mixed Use (CMU) Comprehensive Plan designation and complies with the goals and policies established with this designation, see FOF 16.
2. The subject site is located in the Commercial Arterial (CA) zoning designation and complies with the zoning and development standards established with this designation provided the applicant complies with City Code and conditions of approval, see FOF 17.
3. The site plan review and conditional use application complies with the Urban Design Regulations for Design District 'D' provided the applicant complies with City Code and conditions of approval, see FOF 18.
4. The proposed conditional use permit application complies with the conditional use criteria provided the applicant complies with City Code and conditions of approval, see FOF 19.
5. The proposed site plan review application complies with the site plan review regulations provided the applicant complies with City Code and conditions of approval, see FOF 20
6. The proposed site plan review and conditional use permit application complies with the street standards as established by City Code, provided the project complies with all advisory notes and conditions of approval contained herein, see FOF 20.
7. There are adequate public services and facilities to accommodate the proposed site plan and conditional use permit application, see FOF 20.
8. The proposed modifications related to street frontage improvements along 108<sup>th</sup> Ave SE and 109<sup>th</sup> Ave SE, loading space clear area, and refuse and recycling enclosures comply with the six modification criteria, see FOFs 21,22,23, and 24.
9. Key features which are integral to this project include the significant landscape and tree retention area along the eastern portion of the property and partially sight obscuring landscaping along the abutting single-family residential zone; maintaining a fence along the eastern portion of the property between the parking lot and new vegetation; ensuring exterior lighting from the project will not trespass onto the abutting and adjacent single-family neighborhood; and no exterior display of tires, rims, wheels, and other automotive merchandise.

#### **J. DECISION:**

The Firestone @ 108<sup>th</sup> Conditional Use Permit and Site Plan application, File No. LUA16-000782, as depicted in Exhibit 3, is approved and is subject to the following conditions:

1. The applicant shall submit a revised landscape plan that provides a direct perpendicular connection from the street frontage entrance to the sidewalk. The revised landscape plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.

2. The applicant shall submit a revised landscape plan that provides a minimum of seven (7) additional shrubs within the perimeter parking lot landscaping screen. The revised landscaping plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.
3. The applicant shall submit a revised landscape plan that provides shrubs within the interior parking lot landscaping bulbs at the required rate of one per 20 square feet of landscaped area. The revised landscape plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.
4. The applicant shall submit a revised tree retention plan that identifies the three (3) retained trees and provides the required protection measures during construction. The revised tree retention plan shall be submitted with the construction permit application to be reviewed and approved by the Current Planning Project Manager prior to construction permit approval.
5. The applicant shall submit a revised site plan that removes the extruded curb from the northern perimeter to fully provide the site to site vehicle connection. The revised site plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.
6. The applicant shall submit a revised site plan that includes a detail cut-sheet of the bicycle parking rack that complies with RMC 4-4-080E11b. The revised site plan with cut sheet shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.
7. The applicant shall submit a revised landscape plan that includes a detail cut sheet of the retaining wall materials that are composed of brick, rock, textured or patterned concrete, or other masonry product that complements the proposed building and site development. The revised landscape plan with detail cut sheet shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.
8. The applicant shall submit a revised elevation plan for the refuse and recycling enclosure that includes a detail cut sheet identifying the self-closing mechanism for the enclosure doors. The revised elevation plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.
9. The applicant shall submit a revised landscape plan that provides a minimum of two (2) planter containers near each of the two (2) public entrances. The landscape plan shall also provide additional width along pedestrian pathway extending outward from the building along the street side façade near the 108<sup>th</sup> Ave SE entrance to accommodate additional pedestrian amenities. The revised landscape plan with cut sheets of the planter containers and widened paved entrance area shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.
10. The applicant shall submit a revised landscape plan that provides a minimum of two (2) outdoor seating benches with detail cut sheets verifying the benches are made of durable, vandal- and weather-resistant materials to be located near each entrance area. The revised site plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.
11. The applicant shall submit a lighting plan with photometric lighting analysis that provides the appropriate level of lighting for the parking lot and pedestrian areas while limiting the impacts to the neighboring single-family neighborhood as determined by standards of the Illuminating Engineering Society. Detail cut sheets of the lighting fixtures with cut-off luminaire shall be provided with the plan. The lighting plan and photometric lighting analysis shall be submitted with the building permit

- application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.
12. The applicant shall provide pedestrian scale decorative sconces along the west façade and near the parking lot entrance. Sconce detail cut sheets shall be included on the lighting plan and submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.
  13. The applicant shall submit a revised landscape plan that relocates the eastern perimeter chainlink fence to the area between the parking lot and the new plantings. The plan shall also include a cut sheet of a green or black vinyl coated chainlink fence and be submitted with the construction permit application to be reviewed and approved by the Current Planning Project Manager prior to construction permit approval.
  14. The applicant shall submit a revised elevation plan that identifies any needed screening of rooftop equipment that shields the equipment from public view. The revised elevation plan shall be submitted with the building permit application to be reviewed and approved by the Current Planning Project Manager prior to building permit approval.
  15. The applicant shall submit a revised utilities plan that provides frontage improvements along the subject property's 108<sup>th</sup> Ave SE frontage that maintains the curb line in its existing location and adds an 8-foot planter strip and 8-foot sidewalk. The landscape plan shall also be revised to show approved street trees planted within 8-foot planter strip. The revised utilities plan shall be submitted with the construction permit application to be reviewed and approved by the Civil Plan Reviewer prior to construction permit approval.
  16. The applicant shall dedicate between two (2) and four (4) feet along the subject property's 108<sup>th</sup> Ave SE frontage, subject to final survey. The applicant shall dedicate 11.5-feet along the subject property's 109<sup>th</sup> Ave SE frontage, subject to final survey. Frontage dedications shall be submitted to the Civil Plan Reviewer and completed prior to building permit issuance.
  17. The applicant shall contact the Current Planning Project Manager to approve any comparable alternative tree species for the Austrian Black Pine in the eastern portion of the property. Any approved alternative tree species must be a minimum of 8-9 feet in height at time of planting. The applicant shall contact the Current Planning Project Manager following installation of the taller trees to confirm their height.
  18. The applicant shall comply with the Conditional Use Permit general conditions (RMC 4-2-080.2) for vehicle service and repair uses in the CA zone. All operations shall be conducted entirely within an enclosed structure, which include no exterior display of tires, rims, wheels, and other vehicle related merchandise outside the building. The following also applies:
    - a. Vehicles shall only be held on the property while being serviced and shall have an active repair or service invoice that shall be made available to the City upon the City's request.
    - b. Vehicle storage before or after service shall not be allowed. Vehicles held on the site shall be subject to the screening and landscaping provisions in RMC 4-4-120, Storage Lots – Outside, unless enclosed within a building.
    - c. Vehicle holding areas shall count toward the maximum lot coverage standard of the zone.
    - d. Any overnight vehicle parking accessory to this use shall not be located in the front setback or in a side setback along a street.

March 10, 2017

Page 45 of 46

**DATE OF DECISION ON LAND USE ACTION:**

**SIGNATURE:**

  
\_\_\_\_\_  
**Jennifer Henning, Planning Director**

3/10/2017  
\_\_\_\_\_  
**Date**

*TRANSMITTED this 10th day of March, 2017 to the Owner/Applicant/Contact:*

*Owner:*  
*Real Property Investors*  
*2618 2nd Ave*  
*Seattle, WA 98121*

*Applicant/Contact:*  
*Luke Randles*  
*1505 Westlake Ave N, 305*  
*Seattle, WA 98117*

*TRANSMITTED this 10th day of March, 2017 to the Parties of Record:*

*Zoe Mattson*  
*17654 109th Ave SE*  
*Renton, WA 98055*

*John and Karen Snarski*  
*17810 109th Ave SE*  
*Renton, WA 98055*

*Jerry Sammons*  
*17827 110th Ave SE*  
*Renton, WA 98055*

*Mark Sandler*  
*5020 141st Ave SE*  
*Bellevue, WA 98006*

*Dale Myers*  
*dalemyers@comcast.net*

*TRANSMITTED this 10th day of March, 2017 to the following:*

*Chip Vincent, CED Administrator*  
*Brianne Bannwarth, Development Engineering Manager*  
*Steve Triplett, Development Services*  
*Vanessa Dolbee, Current Planning Manager*  
*Fire Marshal*

**K. LAND USE ACTION APPEALS, REQUEST FOR RECONSIDERATION, & EXPIRATION:**

The administrative land use decision will become final if the decision is not appealed within 14 days of the decision date.

**APPEAL:** This administrative land use decision will become final if not appealed in writing to the Hearing Examiner on or before 5:00 PM on March 24, 2017. An appeal of the decision must be filed within the 14-day appeal period (RCW 43.21.C.075(3); WAC 197-11-680), together with the required fee to the Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. RMC 4-8-110.B governs appeals to the Hearing Examiner and additional information regarding the appeal process may be obtained from the City Clerk's Office, (425) 430-6510.

**EXPIRATION:** The Administrative Site Development Plan Review decision will expire two (2) years from the date of decision. A single two (2) year extension may be requested pursuant to RMC 4-9-200.

**EXPIRATION:** The Conditional Use Permit decision will expire two (2) years from the date of decision. A single two (2) year extension may be requested pursuant to RMC 4-9-030.

**EXPIRATION:** The four Modification decisions will expire two (2) years from the date of decision. A single one (1) year extension may be requested pursuant to RMC 4-9-250.

March 10, 2017

Page 46 of 46

**RECONSIDERATION:** Within 14 days of the decision date, any party may request that the decision be reopened by the approval body. The approval body may modify his decision if material evidence not readily discoverable prior to the original decision is found or if he finds there was misrepresentation of fact. After review of the reconsideration request, if the approval body finds sufficient evidence to amend the original decision, there will be no further extension of the appeal period. Any person wishing to take further action must file a formal appeal within the 14-day appeal time frame.

**THE APPEARANCE OF FAIRNESS DOCTRINE:** provides that no ex parte (private one-on-one) communications may occur concerning the land use decision. The Doctrine applies not only to the initial decision, but to Appeals to the Hearing Examiner as well. All communications after the decision/approval date must be made in writing through the Hearing Examiner. All communications are public record and this permits all interested parties to know the contents of the communication and would allow them to openly rebut the evidence in writing. Any violation of this doctrine could result in the invalidation of the appeal by the Court.



**EXHIBITS 1 - 20**

## ENVIRONMENTAL REVIEW COMMITTEE REPORT

**ERC MEETING DATE:** March 6, 2017

**Project Name:** Firestone @ 108<sup>th</sup>

**Project Number:** LUA16-000782, ECF, CU-A, SA-A, MOD

**Project Manager:** Matthew Herrera, Senior Planner

**Owner:** Real Property Investors, 2618 2<sup>nd</sup> Ave, Seattle, WA 98121

**Applicant/Contact:** Luke Randles, PacLand, 1505 Westlake Ave N, Suite 105, Seattle, WA 98109

**Project Location:** 17808 108<sup>th</sup> Ave SE

**Project Summary:** The applicant is requesting Administrative Site Plan Review, Administrative Conditional Use Permit, and Environmental Review for a proposed 8,261 square foot building to accommodate a new vehicle service and repair business. Associated improvements with the redevelopment include surface parking for 24 vehicles, stormwater detention and water quality treatment, and landscaping. The 0.88 acres (38,234 square feet) site is within the Commercial & Mixed Use (CMU) land use designation and the Commercial Arterial (CA) zoning classification. Existing site improvements on the subject property include a 2,200 square foot fast food restaurant, landscaping with 17 significant trees, and surface parking. Access to the site will remain in its existing location along the 108th Ave SE frontage. The applicant also requests four (4) modifications to code requirements related to frontage improvements along 108th SE and 109 Ave SE, garbage and recycling enclosure requirements, and loading space standards. The existing restaurant will be removed. The site contains no critical areas.

**Exist. Bldg. Area SF:** 2,200sf

**Proposed New Bldg. Area (footprint):** 8,261sf

**Site Area:** 0.88 acres

**Total Building Area GSF:** 8,261sf

**STAFF RECOMMENDATION:** Staff Recommends that the Environmental Review Committee issue a Determination of Non-Significance.

CITY OF  
**Renton**  
**Entire Document  
Available Upon  
Request**



# EXHIBIT 1



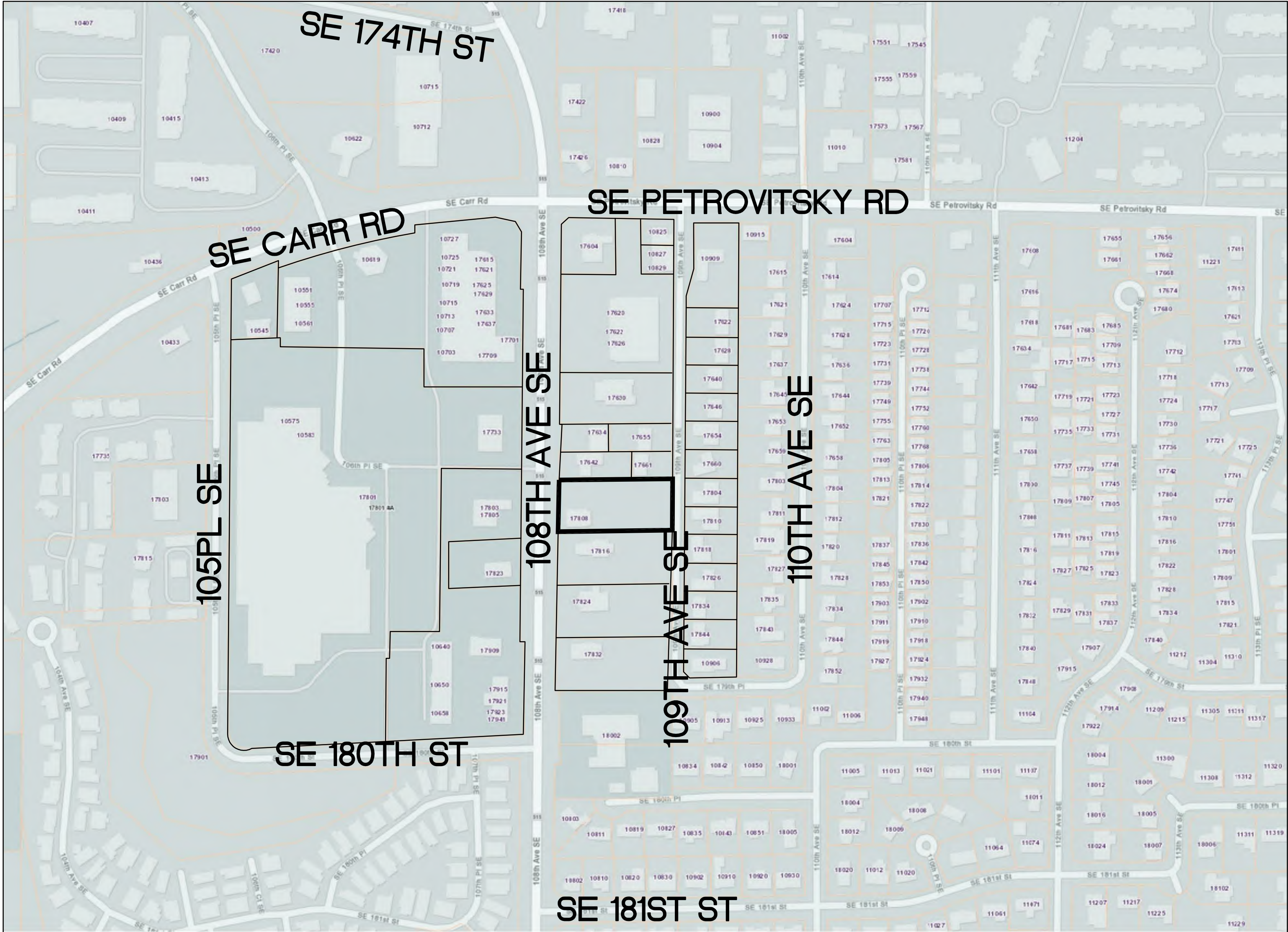
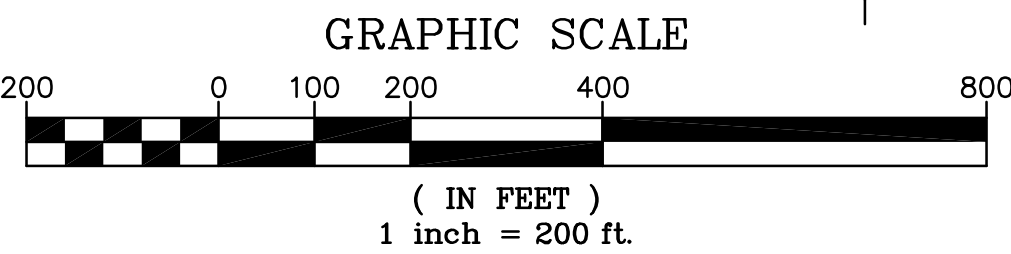
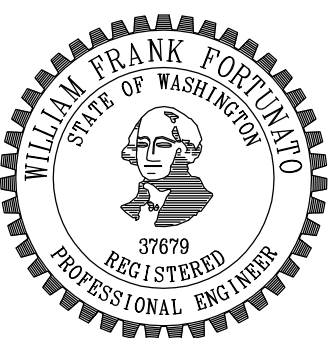


EXHIBIT 2



**PAC LAND**  
1505 Westlake Ave. N.  
Suite 305  
Seattle, WA 98109  
T (206) 522-9510  
F (206) 522-8344  
www.PacLand.com

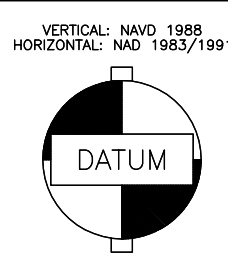


CITY OF RENTON

Approved by: _____	Date: _____
Approved by: _____	Date: _____
Approved by: _____	Date: _____
Approved by: _____	Date: _____

NO.	REVISION	BY	DATE	APPR

SURVEYED: _____	SCALE: _____
DESIGNED: LRR	AS NOTED
DRAWN: CMD	ONE INCH AT FULL SCALE IF NOT ONE INCH SCALE ACCORDINGLY
CHECKED: WFF	
APPROVED: _____	



**CITY OF RENTON**  
Planning/Building/Public Works Dept.

<b>RENTON FIRESTONE</b>		DATE: 09/29/2016
<b>17808 108TH AVE SE</b>		FIELDBOOK: _____
<b>NEIGHBORHOOD DETAIL MAP</b>		PAGE: _____
		DRAWING NO: _____
		SHEET: _____ OF: _____

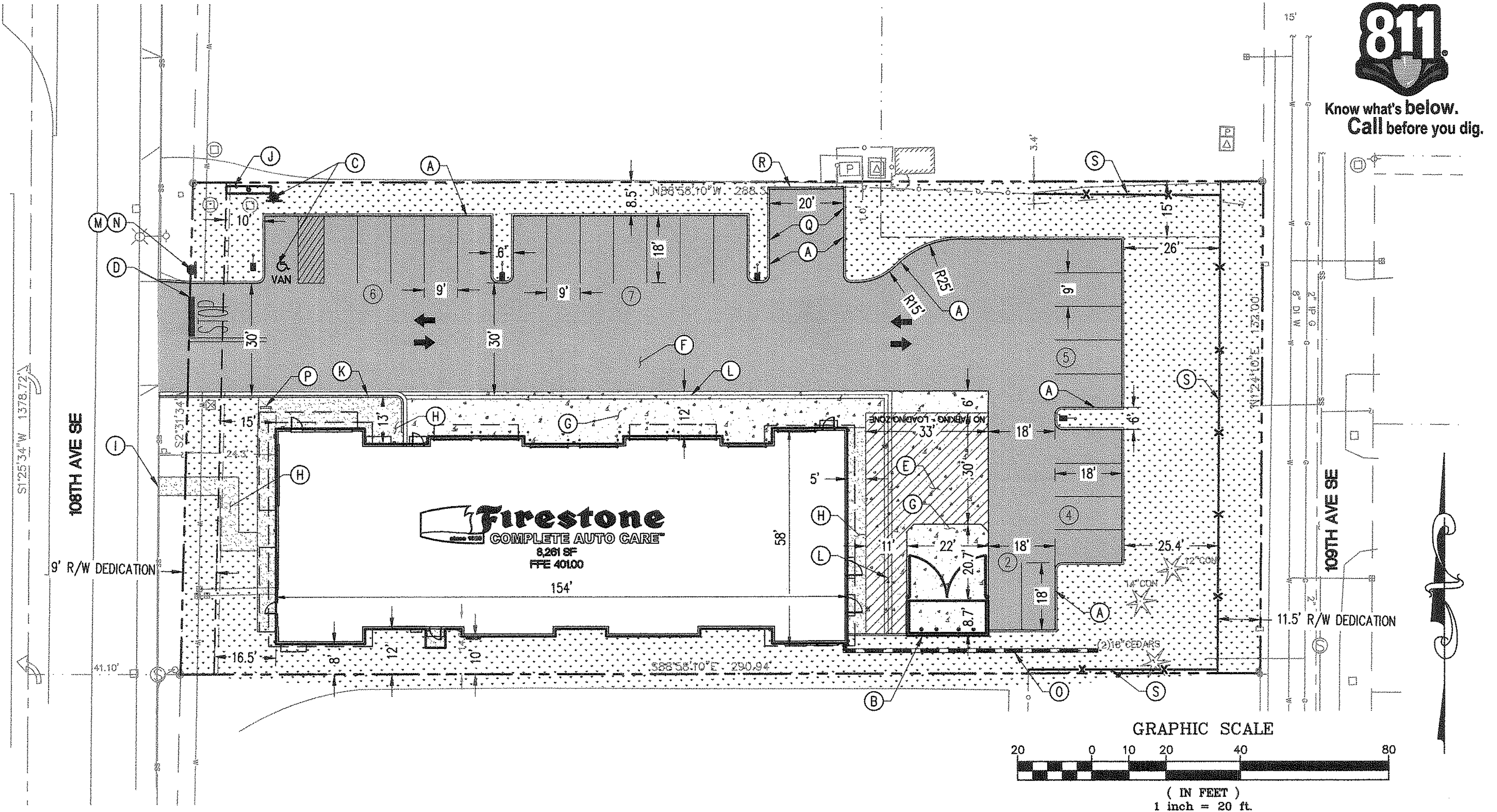


S:\washington\Renton\RP1\skippers 108th and carr road\2DWCS\RRP110S.dwg Jan 26, 2017 - 11:51am

RENTON FIRESTONE

## SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON SURVEY PREPARED BY PACE ENGINEERS, INC., DATED 1/16/2015. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.  
**CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, SIDEWALKS, RAMPS & TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- DIMENSIONS SHOWN REFER TO FACE OF CURB, FACE OF BUILDING OR TO THE CENTERLINE OF PAVEMENT STRIPING, UNLESS OTHERWISE NOTED.
- ALL PAVED PARKING LOT AREAS WITHIN THE LIMITS OF IMPROVEMENTS SHALL BE STANDARD DUTY PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR THE CITY ENGINEER'S APPROVAL PRIOR TO ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- REFER TO BOUNDARY SURVEY FOR LEGAL DESCRIPTION, DIMENSIONS OF PROPERTY LINES, BASIS OF BEARINGS & BENCHMARK INFORMATION.
- ALL ON-SITE PAINTED STRIPING SHALL BE DOUBLE COATED. SEPARATE COATS SHALL BE APPLIED NO SOONER THAN 4 HOURS APART. (CONTRACTOR TO REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL PAVING MARKING REQUIREMENTS.)
- PARKING LOT STRIPING SHALL BE WHITE, 4" WIDTH, & DOUBLE COATED, UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL ISLANDS WITH CURB AND GUTTER SHALL BE LANDSCAPED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- PYLON SIGNS SHALL BE CONSTRUCTED BY OTHERS. THE CONTRACTOR SHALL INSTALL CONDUIT AND ELECTRICAL CIRCUIT BETWEEN THE PYLON SIGN(S) AND THE LIGHTING PANEL, AS WELL AS THE SIGN BASE.
- ALL VERTICAL CONSTRUCTION SHALL MAINTAIN 10' MINIMUM SEPARATION FROM OVERHEAD POWER LINES. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF CONFLICT EXISTS AND PRIOR TO CONSTRUCTION OF THE VERTICAL ELEMENT INCLUDING, BUT NOT LIMITED TO, LIGHT POLE BASES AND TRAFFIC SIGNAL STANDARDS.



## SITE DATA

PARCEL ZONING: CA - COMMERCIAL ARTERIAL

## BUILDING DATA

FIRESTONE AREA: 8,261 SF

## PARKING DATA

**REQUIRED PARKING**  
REQUIRED RATIO: 2.5/1000 SF BUILDING AREA  
REQUIRED STALLS: 21 SPACES

**PROVIDED PARKING**  
STANDARD STALLS: 23  
ACCESSIBLE STALLS: 1  
TOTAL STALLS: 24  
\*25% INCREASE IN MAXIMUM PARKING ALLOWED PER RMC 4-4-080.10.c

**STALL DIMENSIONS**  
STANDARD STALL: 9'X20'  
\*WHERE ADJACENT TO LANDSCAPING PARKING STALLS  
UTILIZE A 2' OVERHANG AS PART OF THE TOTAL LENGTH  
PER RMC 4-4-080.8.e

## ZONING DATA

**SETBACKS:**  
MINIMUM FRONT YARD 15'  
MAXIMUM FRONT YARD 20'  
MINIMUM SIDE YARD ALONG STREET 15'  
MAXIMUM SIDE YARD ALONG STREET 20'  
MINIMUM FREEWAY FRONTAGE SETBACK 10'  
MINIMUM REAR YARD IF ABUTS RESIDENTIAL 15'  
MINIMUM SIDE YARD IF ADJACENT TO RESI. 15'

## LANDSCAPE DATA

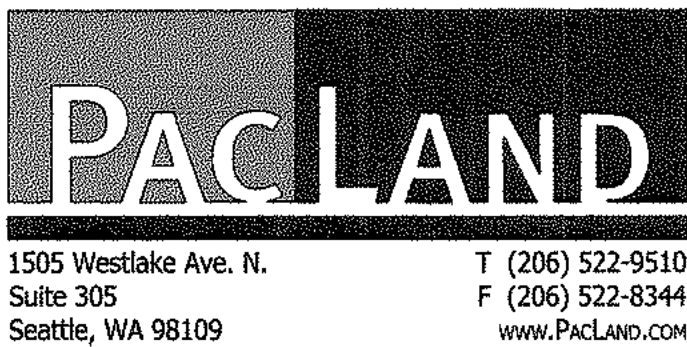
**LANDSCAPING REQUIREMENTS:**  
STREET FRONTAGE 10'  
SIGHT OBSCURING BARRIER WHEN ABUTTING RESIDENTIAL ZONE 15'  
MINIMUM INTERIOR LANDSCAPE AREA PER PARKING SPACE 15 SF  
MINIMUM INTERIOR LANDSCAPE AREA 360 SF  
PARKING LOT LANDSCAPING 771 SF  
PERIMETER LANDSCAPING 8,296 SF  
\*AREAS BASED ON PARCEL AFTER R/W DEDICATION

## CONSTRUCTION KEY NOTES

- (A) CEMENT CONCRETE TRAFFIC CURB PER CITY OF RENTON STANDARD PLAN 101
- (B) TRASH ENCLOSURE, SEE ARCH PLANS
- (C) ADA STALL W/ SIGN. SLOPE IN ADA STALLS AND LANDING AREAS SHALL BE NOT MORE THAN 2% IN ANY DIRECTION.
- (D) STOP BAR
- (E) NO PARKING-LOADING ZONE
- (F) STANDARD DUTY ASPHALT
- (G) STANDARD CONCRETE PAVEMENT
- (H) CONCRETE SIDEWALK PAVEMENT
- (I) TIE INTO EXISTING SIDEWALK
- (J) FIRESTONE SIGN
- (K) CEMENT CONCRETE TRAFFIC CURB AND GUTTER PER CITY OF RENTON STANDARD PLAN 101
- (L) CEMENT CONCRETE VALLEY GUTTER
- (M) STOP SIGN
- (N) RIGHT-TURN ONLY SIGN
- (O) RETAINING WALL, < 4'-HIGH
- (P) BIKE RACK (2 SPACES)
- (Q) CROSS-ACCESS CONNECTION
- (R) EXTRUDED CURB
- (S) 6'-HIGH CHAIN LINK FENCE PER RMC 4-4-070.H.3

## LEGEND

- STANDARD DUTY ASPHALT
- STANDARD DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK PAVEMENT
- LANDSCAPED AREA
- CONCRETE CURB
- PROPERTY LINE
- RETAINING WALL (< 4'-HIGH)
- BOLLARD
- SIGN
- LIGHT POLE
- COMPACT STALL
- NUMBER OF PARKING STALLS PER ROW
- DIRECTIONAL PAVEMENT MARKINGS



CITY OF RENTON  
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_  
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_  
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_  
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

NO.	REVISION	BY	DATE	APPR

SURVEYED: _____	SCALE: AS NOTED	VERTICAL: NAD 1983
DESIGNED: LRR		HORIZONTAL: NAD 1983/1991
DRAWN: CMD		
CHECKED: WFF		
APPROVED: _____		



RENTON FIRESTONE  
17808 108TH AVE SE  
SITE PLAN

DATE: 01/25/2017  
FIELDBOOK: \_\_\_\_\_  
PAGE: \_\_\_\_\_  
DRAWING NO: C-1.0  
SHEET: 01

12345678

EXHIBIT 3





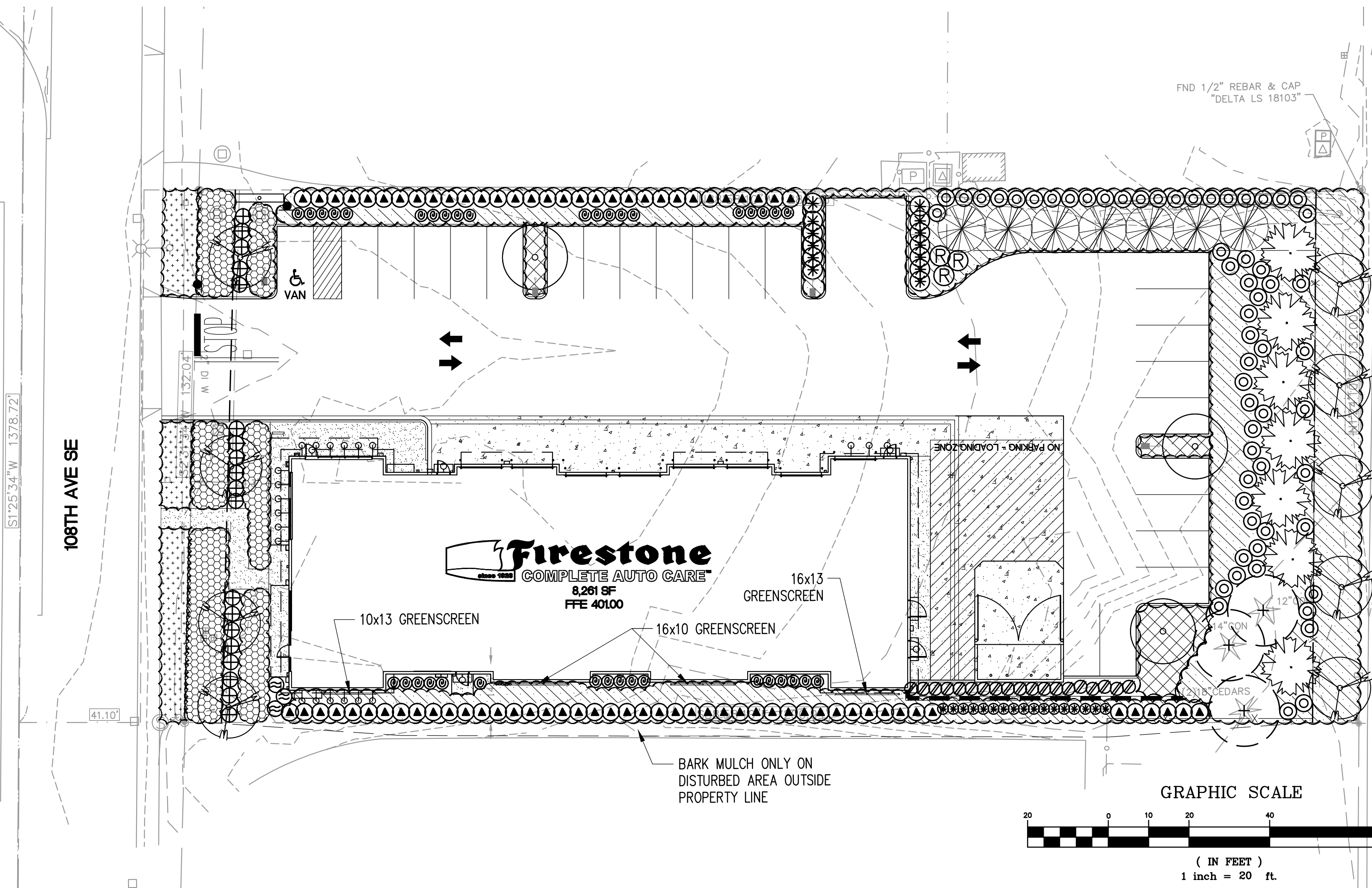




Know what's below.  
Call before you dig.

PLANTING NOTES:

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO (1) VERIFY THE LOCATIONS OF UTILITY LINES IN AND ADJACENT TO THE WORK AREA, (2) PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD, AND (3) REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, MOWING, ETC.) OF THE PLANTING AND LAWN AREAS FOR THE CONSTRUCTION PERIOD.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A (1) YEAR PERIOD. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
11. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
12. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
13. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
14. ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH BARK MULCH TO A MINIMUM DEPTH OF THREE INCHES.
15. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
16. DURING THE GROWING SEASON ALL ANNUALS SHALL REMAIN IN A HEALTHY, VITAL CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
17. ALL PLANT MATERIALS QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN GRAPHICALLY.
18. ALL LANDSCAPE BED AREAS ARE TO RECEIVE 6" OF TOPSOIL.
19. REFER TO PLANS FOR ALL INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
20. ALL LANDSCAPED AREAS ARE TO BE WATERED VIA DESIGN/BUILD AUTOMATIC IRRIGATION SYSTEM.
21. INSTALL A WEED BARRIER IN ALL LANDSCAPE BED AREAS.
22. PARKING LOT PLANTERS SHALL BE BERMED AT A 5:1 SLOPE. THERE SHALL BE A 1.5" CURB REVEAL ALONG THE BACK EDGE OF CURB TO PREVENT MULCH FROM SLUFFING ONTO PAVEMENT.



LOT COVERAGE CALCULATIONS

TOTAL SQUARE FOOTAGE OF THE SITE AND FOOTPRINTS OF ALL BUILDINGS:	
SITE	35,526 SF
BUILDING	8,261 SF
TOTAL SQUARE FOOTAGE OF EXISTING AND PROPOSED IMPERVIOUS SURFACE AREA(S):	
EXISTING BUILDING	2,542 SF
IMPERVIOUS (NON-BUILDING)	18,886 SF
PROPOSED BUILDING	8,261 SF
IMPERVIOUS (NON-BUILDING)	18,198 SF
SQUARE FOOTAGE (BY FLOOR AND OVERALL TOTAL) OF EACH INDIVIDUAL BUILDING AND/OR USE:	
BUILDING	8,261 SF
PERCENTAGE OF LOT COVERED BY BUILDINGS OR STRUCTURES:	
	74%

LANDSCAPE DATA

LANDSCAPING REQUIREMENTS:	
STREET FRONTAGE	10'
SIGHT OBSCURING BARRIER WHEN ABUTTING WITH RESIDENTIAL ZONE	15'
MINIMUM INTERIOR LANDSCAPE AREA PER PARKING SPACE	15 SF
MINIMUM INTERIOR LANDSCAPE AREA	360 SF

PARKING ANALYSIS

NUMBER OF PARKING SPACES REQUIRED BY CITY CODE:	
	21
NUMBER AND DIMENSIONS OF STANDARD, COMPACT, AND ADA ACCESSIBLE SPACES PROVIDED:	
	24
SQUARE FOOTAGE OF PARKING LOT LANDSCAPING:	
PERIMETER	8,296 SF
INTERIOR	771 SF

PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	SIZE/COMMENTS
TREES		
	ACER PLATANOIDES 'COLUMNARBROAD' / PARKWAY MAPLE	2" CAL., MATCHED SET, B&B, 10' MIN.HT., BRANCHED @ 5', SPECIMEN QUALITY
	PYRUS CALLERYANA 'CAPITAL' / 'CAPITAL' FLOWERING PEAR	2" CAL., MATCHED SET, B&B, 10' MIN. HT., BRANCHED @ 5', SPECIMEN QUALITY
	PINUS NIGRA / AUSTRIAN BLACK PINE	8' - 9' MIN. HT., WELL FORMED, B&B
	CALOCEDRUS DECURRENS / INCENSE CEDAR	6' HT., B&B, FULL & BUSHY, SPECIMEN QUALITY
	THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	5'-6' HT., B&B, FULL & BUSHY, MATCHED VARIETIES
	EXISTING TREE TO REMAIN	PRESERVE & PROTECT
GROUND COVER		
	ARCTOSTAPHYLOS UVA-URSI / KINNIKINNICK	1 GAL. CONT., PLANT @ 18" O.C.
	COTONEASTER DAMMERI 'CORAL BEAUTY' / 'CORAL BEAUTY' COTONEASTER	2 GAL. CONT., FULL & BUSHY, PLANT @ 3' O.C.,
	GAULTHERIA SHALLON / SALAL	1 GAL. CONT., PLANT @ 24" O.C.
	HELITRICHON SEMPERVIRENS / BLUE OAT GRASS	2 GAL. CONT., FULL & BUSHY. PLANT @ 2' O.C.,

SYM.	BOTANICAL/COMMON NAME	SIZE/COMMENTS
SHRUBS		
	EUONYMUS ALATA 'COMPACTA' / DWARF WINGED EUONYMUS	5 GAL. CONT., FULL & BUSHY, SPECIMEN QUALITY, SPACE @ 4' O.C.
	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	5 GAL. CONT., FULL & BUSHY, PLANT @ 3' O.C.
	PRUNUS LAUROCERASUS 'NANA' / DWARF ENGLISH LAUREL	18-24" SPRD., B&B, FULL & BUSHY, SPACE @ 4' O.C.
	RHODODENDRON 'PJM' / 'PJM' RHODODENDRON	18"-24" HT., FULL & BUSHY, SPECIMEN QUALITY
	SPIRAEA X BUMALDA 'DOLCHICA' / DOLCHICA BUMALDA SPIRAEA	2 GAL., CONT., FULL & BUSHY, PLANT @ 3' O.C.
	TAXUS X MEDIA 'DENSIFORMIS' / DENSE SPREADING YEW	5 GAL., CONT., FULL & BUSHY, SPECIMEN QUALITY. PLANT @ 4' O.C.
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / 'KARL FOERSTER' FEATHER REED GRASS	5 GAL., CONT., FULL & BUSHY, SPECIMEN QUALITY. PLANT @ 3' O.C.
VINES		
	GREENSCREENS 1-800-450-3494: CLEMATIS ARMANDII / ARMAND CLEMATIS	5G STAKE, SPECIMEN QUALITY, PLANT @ 3' O.C. SEE ARCHITECTURAL PLANS

EXHIBIT 5



250 4th Avenue S.  
Suite 101  
Edmonds, WA 98020



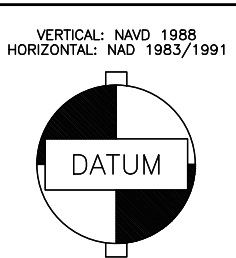
CERTIFICATE NO. 307  
Expires on 6-28-2017

CITY OF RENTON

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_  
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_  
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_  
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

NO.	REVISION	BY	DATE	APPR	

SURVEYED:	SCALE:
DESIGNED: TSP	AS NOTED
DRAWN: DMD   NFG	
CHECKED: TSP	ONE INCH AT FULL SCALE IF NOT ONE INCH SCALE ACCORDINGLY
APPROVED:	



CITY OF RENTON  
Planning/Building/Public Works Dept.

RENTON FIRESTONE  
17808 108TH AVE SE  
LANDSCAPE PLAN

DATE:	01/25/2017
FELDBOOK:	
PAGE:	
DRAWING NO:	
SHEET:	OFF: 2



## **GEOTECHNICAL ENGINEERING REPORT**

Firestone Retail Store  
17808 108th Ave SE  
Renton, WA 98055

### **PSI PROJECT NO.07121375**

June 1, 2016

#### **Prepared for:**

Bridgestone Retail Operations, LLC  
333 E. Lake Street  
Bloomington, IL 60108

#### **Prepared by:**

Professional Service Industries, Inc.  
20508 - 56<sup>th</sup> Ave W, Suite A  
Lynnwood, WA 98036

# Firestone Complete Auto Care

**17808 108<sup>th</sup> Ave SE  
Renton, Washington, 98055**

## ***Technical Information Report Commercial Redevelopment***



1505 Westlake Ave. N  
Suite 305  
Seattle, WA 98109

T 206.522.9510  
F 206.522.8344  
[www.pacland.com](http://www.pacland.com)



***Prepared By: Luke Randles, P.E.  
Reviewed By: Bill Fortunato, P.E.  
Prepared: September 2016  
Revised: January 2017***

S:\washington\Renton\RP1\skippers 108th and carr road\2DWCS\RRP120G.dwg Jan 26, 2017 -- 11:53am

## GRADING NOTES

- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY PACE ENGINEERS, INC., DATED 1/16/2015. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED AT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE SPOT ELEVATIONS INDICATED ON THIS PLAN REPRESENT THE DESIGN TOP OF PAVEMENT, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS WITH GRASS IN ACCORDANCE WITH LOCAL SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED PER THE IBC CODE AND APPLICABLE LOCAL REGULATION. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS AND SHALL GRADE ALL AREAS TO PRECLUDE PONDING OF WATER.
- ALL POLLUTANTS OTHER THAN SEDIMENT ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- PROPERTIES AND WATERWAYS DOWNSTREAM OF THE SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM PROJECT SITE.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR TO REMOVE UNSUITABLE SOILS LOCATED WITHIN THE BUILDINGS SPLAY LINE OF THE FOOTINGS.
- FOR BOUNDARY AND TOPOGRAPHIC INFORMATION REFER TO PROJECT SURVEY.
- FOR LAYOUT INFORMATION REFER TO THE SITE PLAN AND HORIZONTAL CONTROL PLAN.

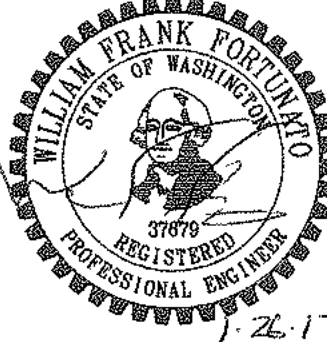
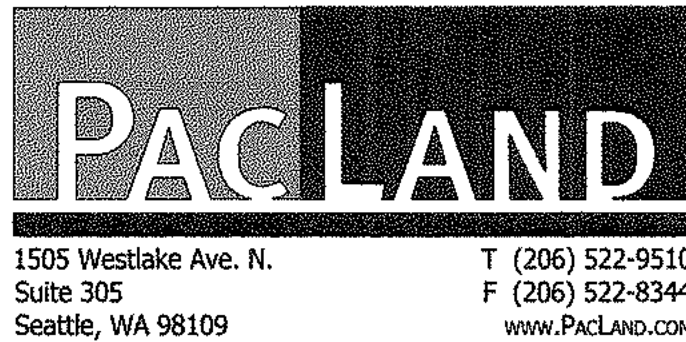
## STORM DRAINAGE NOTES

- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- STORM DRAINAGE PIPE WITH LESS THAN 2'-0" COVER SHALL BE CLASS IV REINFORCED CONCRETE PIPE, OR APPROVED EQUAL TO SUSTAIN H-20 LOADING.
- ALL ON-SITE STORM DRAINAGE PIPE SHALL BE SMOOTH WALLED INTERIOR, MANUFACTURER'S VERIFICATION OF MANNING'S ROUGHNESS COEFFICIENT N=0.012 OR LESS.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
- ALL CATCH BASINS AND AREA DRAINS ARE TO BE SITUATED SUCH THAT THE OUTSIDE EDGE OF GRATE FRAME IS AT TOE OF CURB OR FLOWLINE OF GUTTER (WHERE APPLICABLE).
- CATCH BASIN INLET PROTECTION / EROSION CONTROL TO BE USED FOR ALL NEW INLETS.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- CONTRACTOR SHALL CONNECT ROOF DRAIN LEADERS AND FOOTING DRAINS TO PROPOSED STORM DRAINS AS SHOWN.
- CONTRACTOR SHALL CONFIRM STRUCTURE CONSTRUCTABILITY WITH MANUFACTURER PRIOR TO DELIVERY AND INSTALLATION.

## EARTHWORK QUANTITIES

EARTHWORK VOLUMES SHOWN BELOW REPRESENT THE DIFFERENCE BETWEEN FINISHED AND EXISTING GRADE SURFACES WITH NO ADJUSTMENTS MADE FOR SURFACE PREPARATION REQUIREMENTS OR SUBGRADES. THE VOLUMES ARE APPROXIMATE ONLY, AND ARE NOT TO BE USED FOR BIDDING PURPOSES.

CUT: 2,910 CY  
FILL: 100 CY  
NET: 2,810 CY (OUT)



CITY OF RENTON  
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_  
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_  
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_  
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

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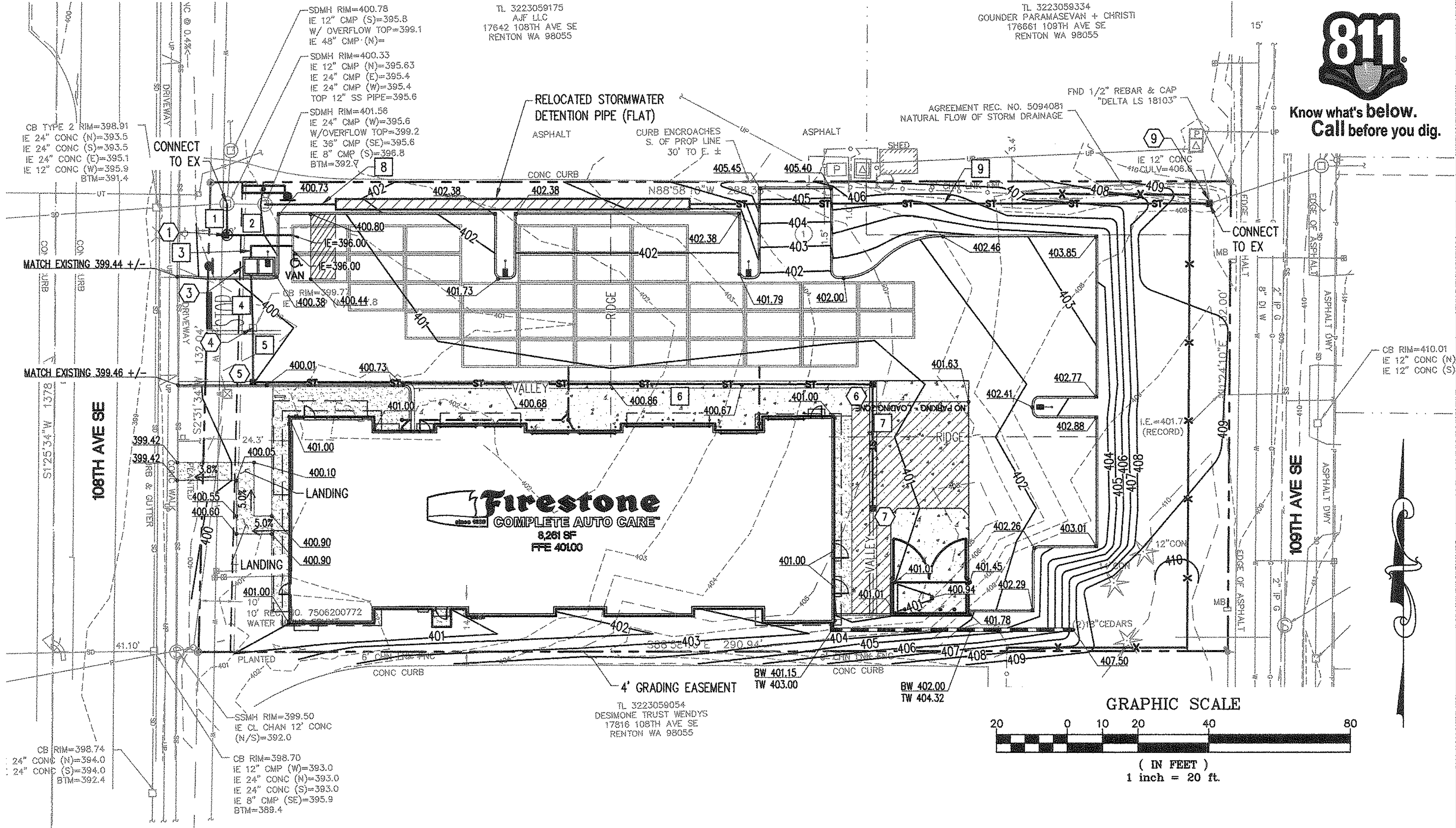
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APPROVED: _____	



RENTON FIRESTONE  
17808 108TH AVE SE  
GRADING AND DRAINAGE PLAN

DATE: 01/25/2017  
FIELDBOOK: \_\_\_\_\_  
PAGE: \_\_\_\_\_  
DRAWING NO: C-2.0  
SHEET: \_\_\_\_\_ OF: \_\_\_\_\_

1 2 3 4 5 6 7 8



## LEGEND

- EX. CONTOUR --- --- ---
- PROPOSED CONTOUR --- XXX ---
- SPOT ELEVATION (TP UNLESS OTHERWISE NOTED) XXX.XX
- STORM DRAIN PIPE --- ST ---
- ROOF DRAIN LEADER --- --- ---
- (6" PVC, 1% SLOPE UNLESS OTHERWISE NOTED)
- GRADING RIDGE --- RIDGE ---
- GRADING VALLEY --- VALLEY ---
- MODULAR OPEN-BOTTOM DETENTION VAULT (7'X15'X3' INTERIOR DIMENSIONS), STORMCAPTURE OR EQUIVALENT
- STORMFILTER WATER QUALITY MODULAR WETLAND
- TYPE I CATCH BASIN
- TYPE II CATCH BASIN
- CLEANOUT TO GRADE (CO)
- RETAINING WALL

## EXHIBIT 8

**WASHINGTON FORESTRY CONSULTANTS, INC.**  
FORESTRY AND VEGETATION MANAGEMENT SPECIALISTS

360/943-1723  
FAX 360/943-4128

**W F C I**  
1919 Yelm Hwy SE, Suite C  
Olympia, WA 98501

-Tree Protection Plan-

**RENTON FIRESTONE**

17808 108<sup>th</sup> Ave. SE  
Renton, WA

Prepared for: PACLAND

Prepared by: Washington Forestry Consultants, Inc.

Date: September 23, 2016

**Introduction**

The project proponent is planning to build a new Firestone auto care center on 0.88 acres at 17808 108<sup>th</sup> Ave. SE in Renton, WA. The proponent has retained WFCI to:

- Evaluate and inventory all trees on the site pursuant to the requirements of the City of Renton Tree Protection Ordinance.
- Make recommendations for retention of significant trees, along with required protection and cultural measures.

**Observations**

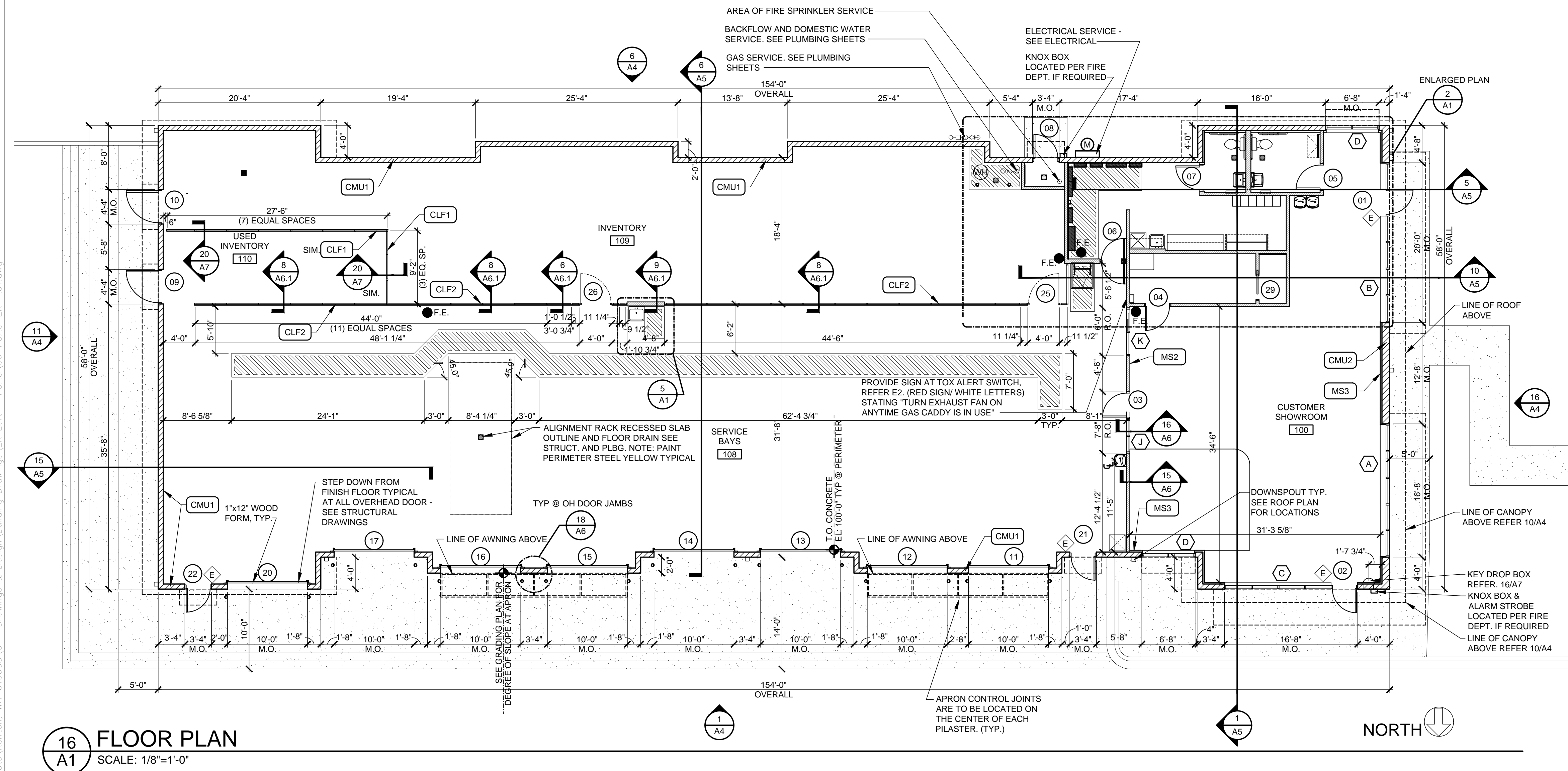
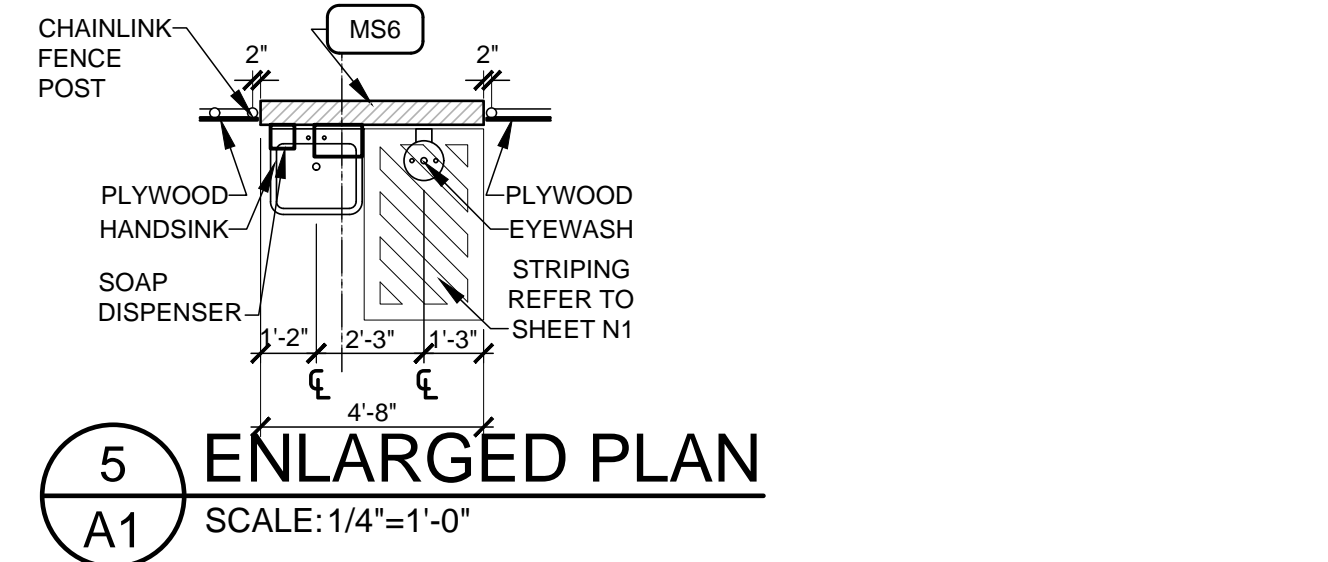
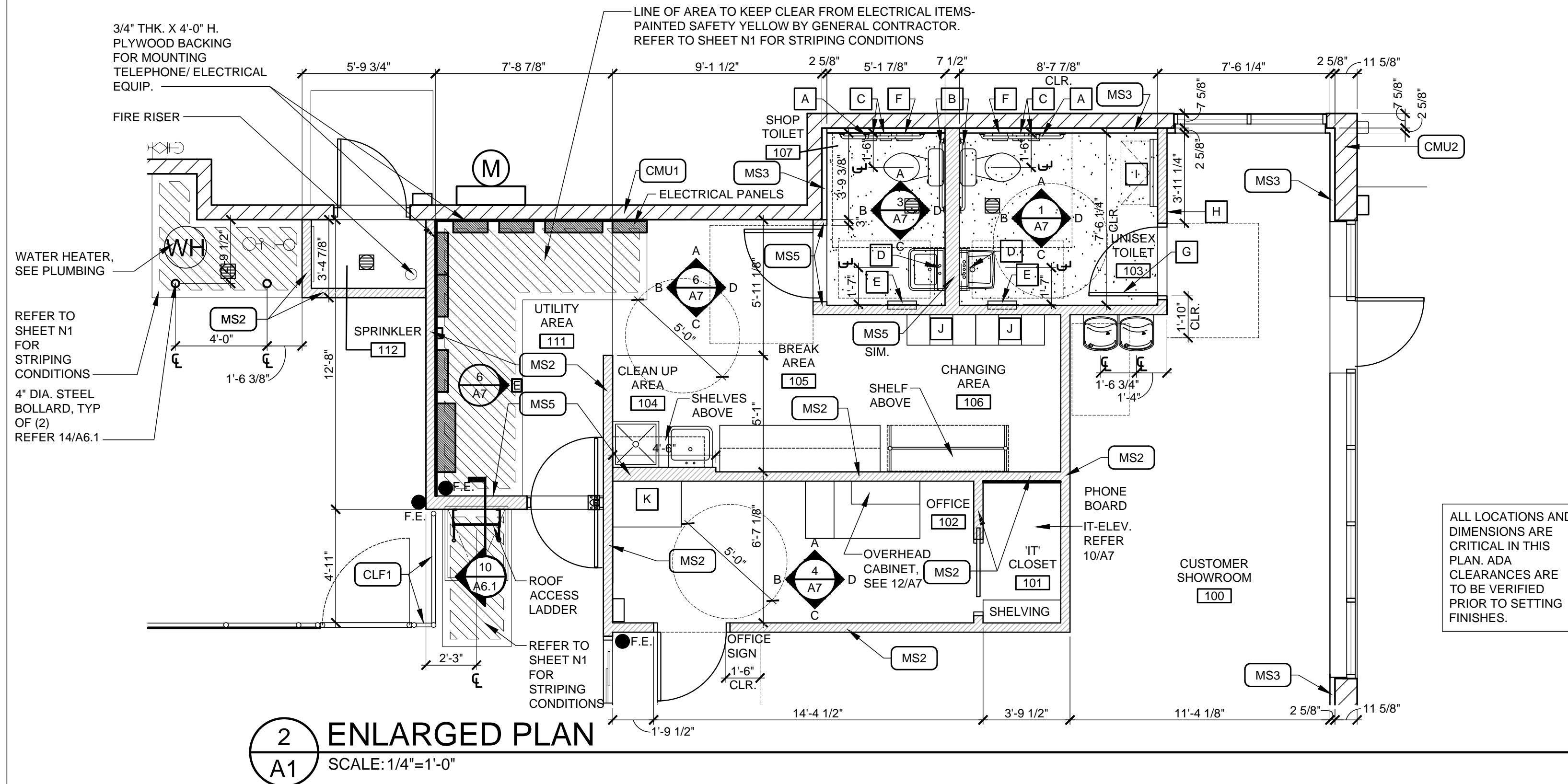
**Methodology**

In accordance with Renton Municipal Code 4-4-130, WFCI has evaluated all significant trees on site. This includes cottonwood and red alder trees 8 inches diameter at breast height (DBH) and larger, and all other trees 6 inches DBH and larger, and assessed their potential to be incorporated into the new project. Trees were numbered on a map, but not marked in the field.

The tree evaluation phase used methodology developed by Nelda Matheny and Dr. James Clark in their 1998 publication Trees and Development: A Technical Guide to Preservation of Trees during Land Development.

**EXHIBIT 9**





## STANDARD WALL TYPES

### NOTES:

- SOME WALL TYPES MAY NOT BE USED. REFER TO PLANS
- REFER TO STRUCTURAL DRAWINGS FOR STUD GAUGES AND ADDITIONAL FRAMING INFORMATION.

CMU1	4" HIGH, 8" DEPTH REINFORCED QUIK BRICK. ALL DECORATIVE SURFACES SHOULD FACE TO EXTERIOR SIDE ONLY. REFER TO ELEVATIONS.
CMU2	4" HIGH, 12" DEPTH REINFORCED QUIK BRICK. ALL DECORATIVE SURFACES SHOULD FACE TO EXTERIOR SIDE ONLY. REFER TO ELEVATIONS.
FRP	FRP BOARD GLUE EDGE TO EDGE OF SUBSTRATE. REFER TO INTERIOR ELEVATIONS ON SHEET A7 FOR HEIGHTS A.F.F.
MS1	3 5/8" METAL STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES. EXTEND PARTITION TO DECK (TYPICAL U.N.O.). USE MOISTURE RESISTANT GYPSUM BOARD ON INTERIOR SIDE OF TOILET AND MOP BASIN AREAS.
MS2	3 5/8" METAL STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES WITH SOUND ATTENUATION BLANKETS BETWEEN. EXTEND PARTITION TO DECK (TYPICAL U.N.O.). USE MOISTURE RESISTANT GYPSUM BOARD ON INTERIOR SIDE OF TOILET AND MOP BASIN AREAS AND BEHIND DRINKING FOUNTAINS.
MS3	2" "Z" FURRING AT 24" O.C. (ON MASONRY WALL) WITH 5/8" GYPSUM BOARD. EXTEND 2" RIGID INSULATION TO DECK ABOVE. (TYPICAL U.N.O.) USE MOISTURE RESISTANT GYPSUM BOARD IN TOILET AND MOP BASIN WALLS.
MS4	3 5/8" METAL STUDS AT 16" O.C. WITH 1/2" PLYWOOD BOTH SIDES, PAINTED (TYPICAL UNLESS NOTED OTHERWISE).
MS5	6" METAL STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES WITH SOUND ATTENUATION BLANKETS BETWEEN. EXTEND PARTITION TO DECK (TYPICAL U.N.O.) AT SIM. CONDITION, EXTEND PARTITION 4" MIN. ABOVE CEILING. USE MOISTURE RESISTANT GYPSUM BOARD ON INTERIOR SIDE OF TOILET AND MOP BASIN AREAS.
MS6	6" METAL STUDS AT 16" O.C. WITH 1/2" PLYWOOD BOTH SIDES, PAINTED.
MS7	6" METAL STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES, PAINTED.
MS8	3 5/8" METAL STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES, 3/4" PLYWOOD ATTACHED TO STUDS ON SHOP SIDE ONLY.
CLF1	2 1/2" Ø GALV. STEEL POSTS AT 4' O.C. WITH 2" GALV. CHAINLINK FABRIC. AT SIM. CONDITION; 4' X 8' SHEETS OF 3/4" EXTERIOR GRADE PLYWOOD TO 12'-0" AFF ON INVENTORY SIDE
CLF2	2 1/2" Ø GALV. STEEL POSTS AT 4' O.C. WITH 2" GALV. CHAINLINK FABRIC STARTS AT 12'-8" A.F.F. ON INVENTORY SIDE AND 4' X 8' SHEETS OF 3/4" EXTERIOR GRADE PLYWOOD TO 12'-8 1/2" AFF ON SERVICE BAY SIDE

## ACCESSORIES

MARK	DESCRIPTION
A	42" GRAB BAR WITH WOOD BACKER, WITH 18" VERTICAL BAR AS REQUIRED.
B	36" GRAB BAR WITH WOOD BACKER
C	TOILET TISSUE DISPENSER
D	MIRROR - SEE ELEVATIONS FOR SIZE
E	PAPER TOWEL DISPENSER & DISPOSAL
F	SANITARY NAPKIN DISPOSAL UNIT
G	COAT HOOK
H	HANDICAP SIGN-MOUNT 5'-0" AFF TO CENTER; 8" EDGE TO JAMB EDGE.
I	BABY CHANGING STATION. SEE DETAIL 11/1
J	6 HALF LOCKER UNIT QTY(2)-(SECURE TO WALL)
K	WRITING SURFACE, SEE DETAIL 11/A7

### NOTES

- PROVIDE WOOD BLOCKING AS REQUIRED FOR MOUNTING ACCESSORIES
- ACCESSORY PACKAGE AVAILABLE FROM NATIONAL VENDOR
- REFER TO SHEET N1 FOR MOUNTING HEIGHTS, LOCATIONS, ETC OR TOILET ROOM ACCESSORIES.

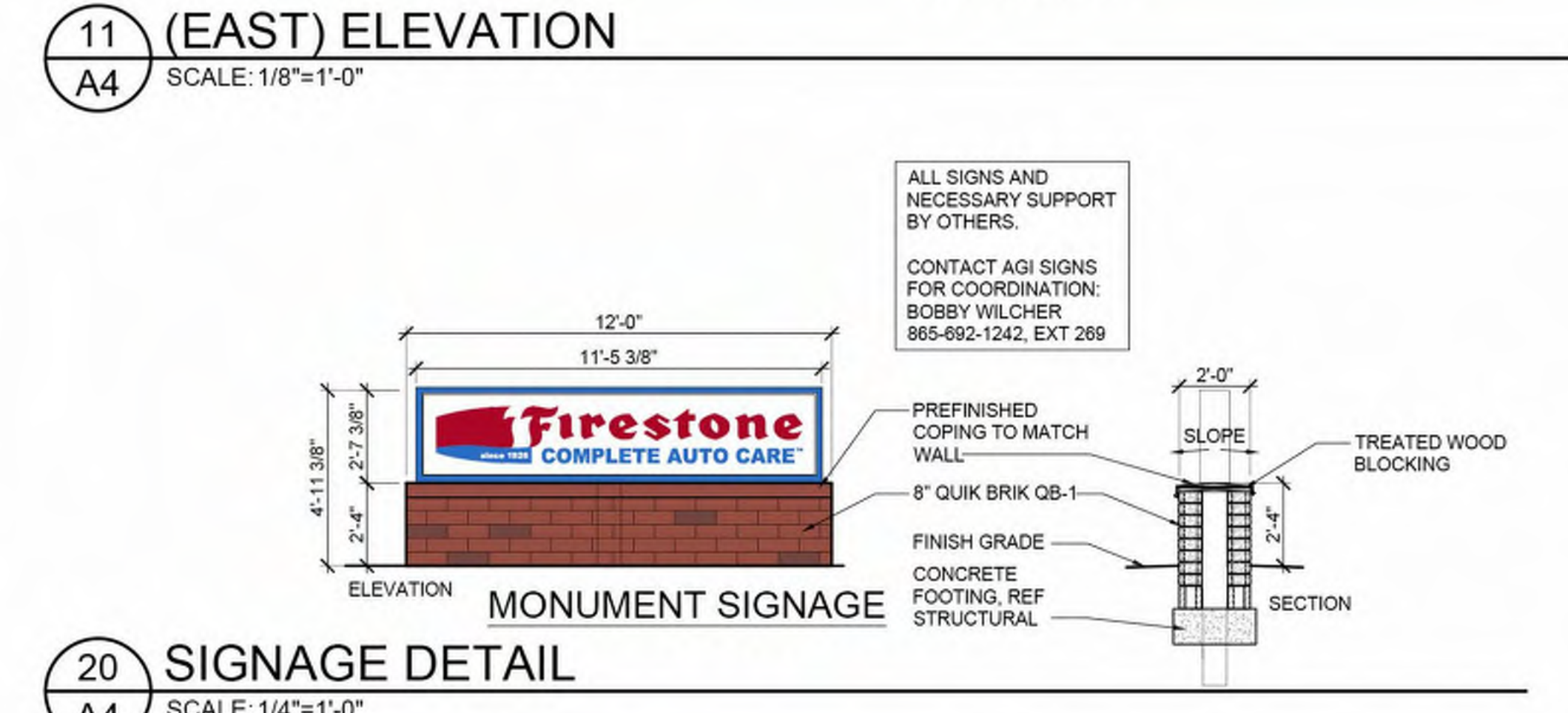
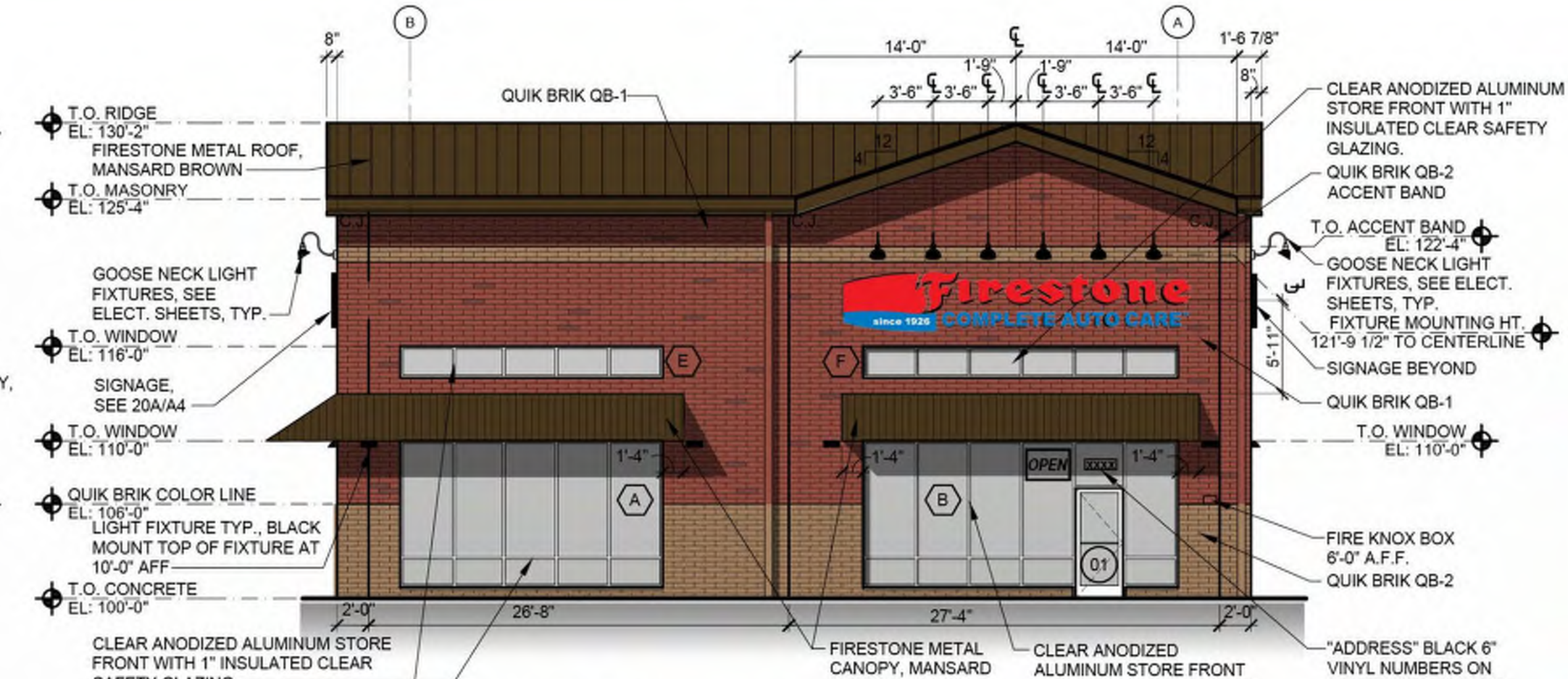
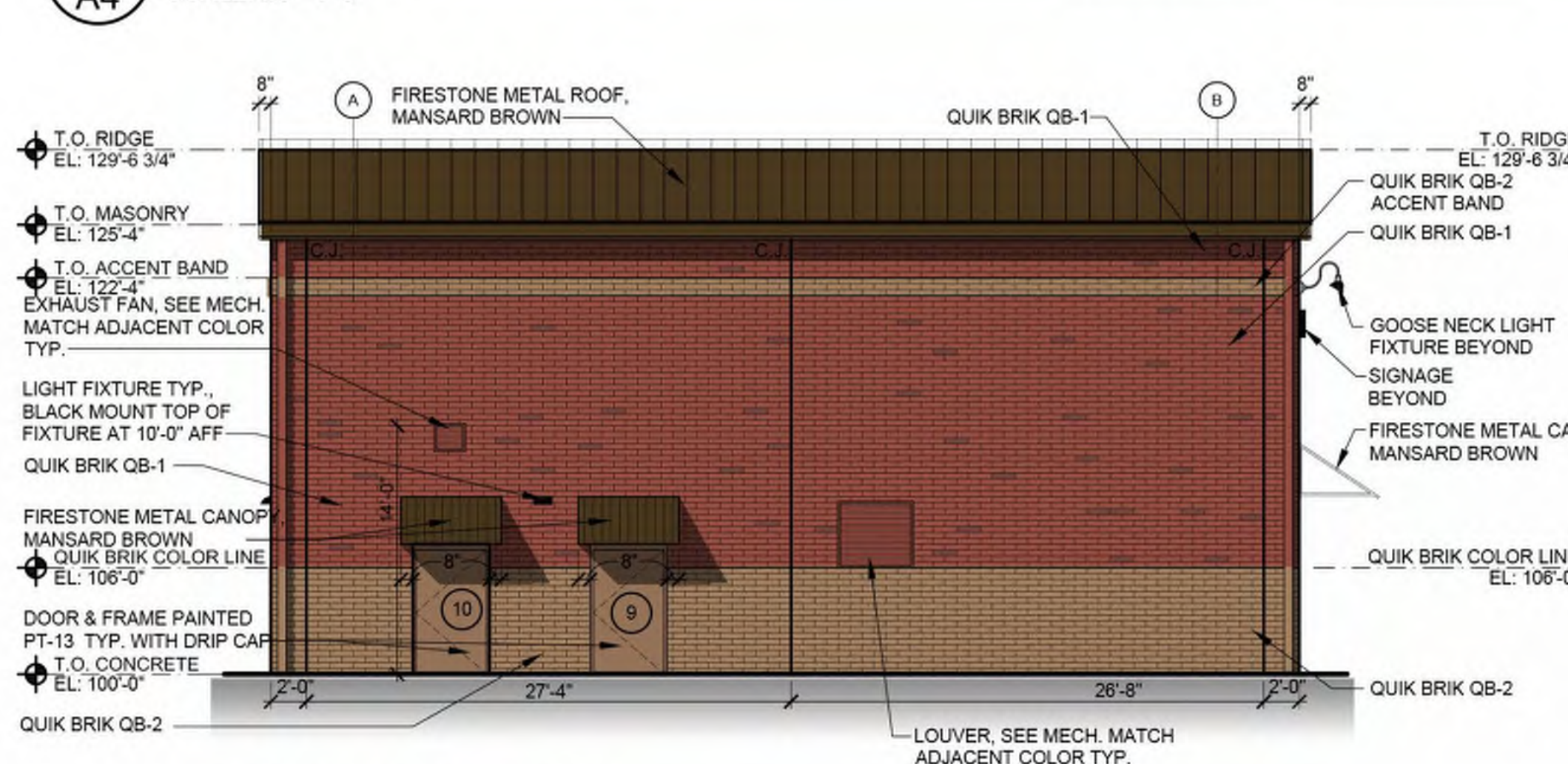
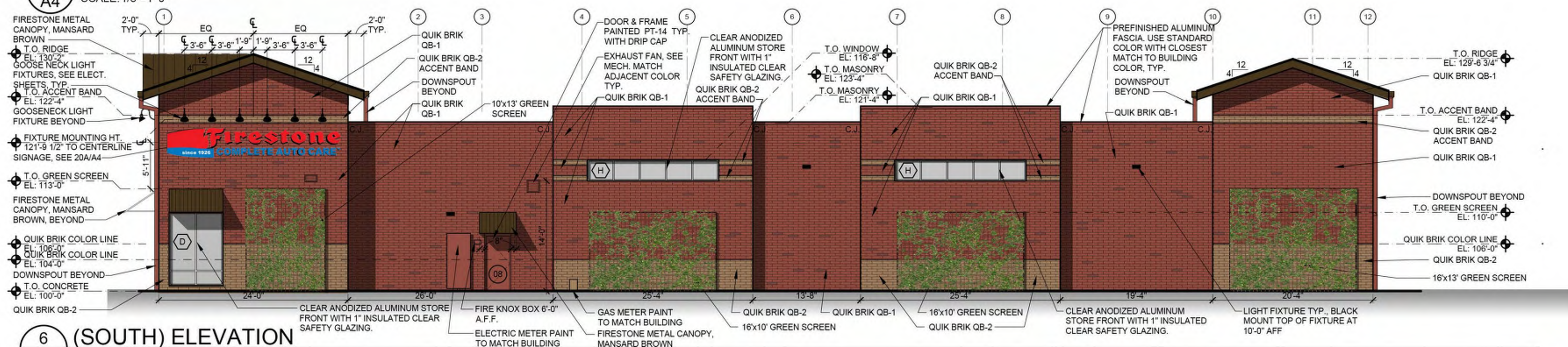
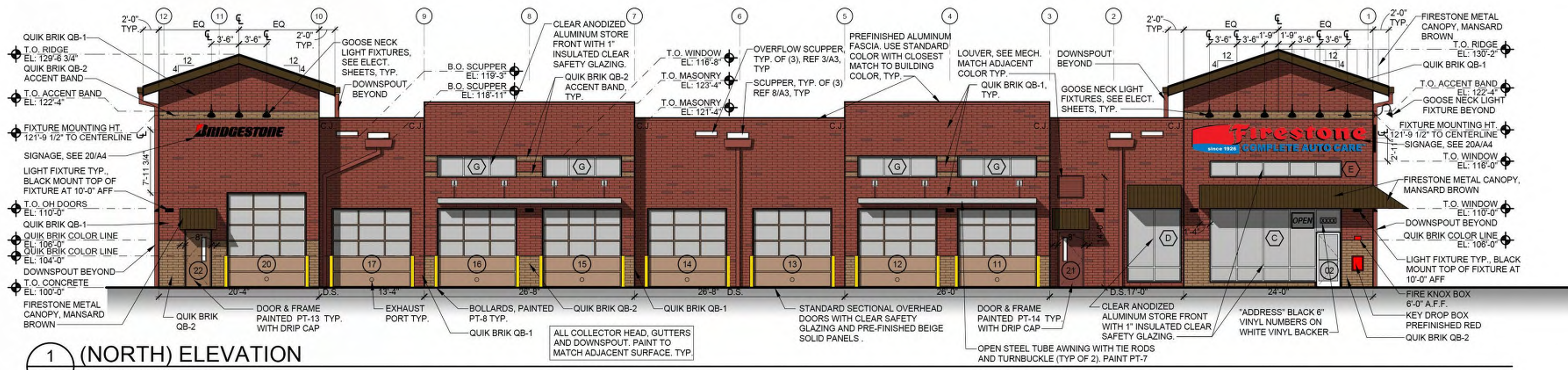
## GENERAL NOTES

- WALL DIMENSIONS ARE TO FINISH CLEAR DIMENSION. ALL MATERIALS MUST BE FIGURED INTO THE LAYOUT OF THE FRAMING.
- MASONRY OPENING SHALL BE COORDINATED WITH WINDOW OR DOOR MANUFACTURERS REQUIREMENTS.
- PLUMBING ROUGH INS ARE CRITICAL FOR ADA CLEARANCES. VERIFY ALL PLUMBING ROUGH INS PRIOR TO INSTALLING ROOM FINISHES.
- ALL MASONRY DIMENSIONS ARE NOMINAL DIMENSIONS, MASONRY CONTRACTOR TO ADJUST COURSING AS NEEDED.
- PROPOSED FIRE EXTINGUISHERS ARE LOCATED BY THE SYMBOL ● F.E. COORDINATE TYPE, SIZE AND FINAL LOCATIONS WITH LOCAL FIRE OFFICIALS
- ALL GYP. BRD. WALLS SHALL HAVE LATERAL BRACING AND CONTROL JOINTS AS REQUIRED IN SPECIFICATION SECTIONS 092900.

### ISSUE BLOCK

PROPERTY NO.:	166515
6 DIGIT NO.:	782028
4 DIGIT NO.:	31GG
AOR PROJECT NUMBER:	1555095
TO PERMIT:	DATE: 11/18/16
TO BID:	DATE: TBD





- GENERAL NOTES:**
1. SEE DETAIL 17/A6 FOR MASONRY CONTROL JOINT DETAIL
  2. PROVIDE DRIP CAP OVER ALL MAN DOORS SEE DETAIL 1H/A8
  3. PAINT ALL EXPOSED LINTELS & JAMBS TO MATCH ADJACENT BUILDING COLOR.
  4. SEE ELECTRICAL FOR SIGNAGE OPERATING TIME SETUP
  5. INSTALLATION OF BUILDING SIGNS AND STREET SIGN BY SIGN VENDOR, G.C. TO PROVIDE WIRING. REFER ELECTRICAL.
  6. REFER SHEET A8 FOR PAINT COLOR KEY.
  7. ANY EXTERIOR CONSTRUCTION JOINT, EXPANSION JOINT, AND CRACK OF ABUTTING DISSIMILAR OR SAME MATERIALS MUST HAVE APPROPRIATE PRODUCT APPLIED TO PROVIDE AN AIR, MOISTURE, AND WATER TIGHT EXTERIOR. REFER TO SPECIFICATION SECTION 079200 FOR PRODUCTS.

**SGA Design Group, P.C.**  
1437 South Boulder, Suite 550  
Tulsa, Oklahoma 74119-3609  
P: 918.557.8600  
F: 918.557.8601  
WWW.SGADSGROUP.COM



STIPULATION OF REUSE  
THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT RENTON, WA. COPIES OF THIS DRAWING ARE NOT TO BE USED FOR ANY OTHER PROJECTS OR AT A LATER DATE. USE OF THIS DRAWING FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF SGA DESIGN GROUP, P.C. IS PROHIBITED. THE USER OF THIS DRAWING FOR ANY OTHER PROJECTS SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMISSIONS FROM THE ORIGINAL OWNER OF THE DRAWING. SGA DESIGN GROUP, P.C. ACCEPTS NO LIABILITY FOR ANY DAMAGE OR LOSS OF ANY KIND, INCLUDING BUT NOT LIMITED TO, DIRECT, INDIRECT, SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES, ARISING OUT OF OR IN CONNECTION WITH THE USE OF THIS DRAWING.

**NEW FCAC STORE**  
2016 - JUNE - ER - LEFT  
17808 108TH AVE. SE  
RENTON, WA

ISSUE BLOCK	

PROPERTY NO.:	166515
6 DIGIT NO.:	782028
4 DIGIT NO.:	31GG
AOR PROJECT NUMBER:	1555095
TO PERMIT:	DATE: 11/18/16
TO BID:	DATE: TBD

SHEET TITLE:  
**EXTERIOR ELEVATIONS & DETAILS**

SHEET NUMBER:  
**A4**

**EXHIBIT 11**



# MEMORANDUM

**DATE:** September 26, 2016

**TO:** Ann Fowler  
City of Renton Public Works Plan Reviewer

**FROM:** Chris Forster, P.E.  
TENW

**SUBJECT:** Renton Firestone – Trip Generation  
PRE16-000342  
TENW Project No. 5313



This memorandum summarizes the preliminary traffic information for the proposed Firestone Complete Auto Care project located at 17808 108<sup>th</sup> Ave SE in Renton, Washington. This memo includes a project description and trip generation estimate. We are requesting your review and approval of this information and confirmation that a traffic impact analysis will not be required for this project.

## Project Description

The Renton Firestone site is located on the east side of 108<sup>th</sup> Ave SE (17808 108<sup>th</sup> Ave SE, see site vicinity map in Attachment A). The existing site includes a fast-food restaurant with drive-through window (Skippers) totaling 2,200 square feet, which would be removed. The proposed Firestone Complete Auto Care project would include up to 7,700 square feet of tire sales/auto care use. Access to the Firestone project is proposed to be provided via one right-in, right-out only driveway on 108<sup>th</sup> Ave SE in approximately the same location as the existing driveway to Skippers. A preliminary site plan is provided in Attachment B. The project is expected to be occupied in 2017.

## Trip Generation

The trip generation estimates for the proposed Firestone project were based on methodology in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 9<sup>th</sup> edition, for Tire Store (LUC 848) and Fast-Food Restaurant with Drive-Through Window (LUC 934). The net new trip generation was calculated by subtracting the trips from the restaurant to be removed from the trips generated by the proposed Firestone. The resulting net new weekday daily, AM and PM peak hour trips are summarized in Table 1. A detailed trip generation estimate is included in Attachment C.

**Table 1**  
**Renton Firestone**  
**Trip Generation Summary**

Time Period	Trips Generated		
	In	Out	Total
Weekday Daily	-203	-204	-407
Weekday AM Peak Hour	10	6	16
Weekday PM Peak Hour	-9	-4	-13

# EXHIBIT 12

**September 30, 2016**

City of Renton  
1055 S. Grady Way  
Renton, WA 98057



***Subject: Firestone Complete Autocare – Renton, WA – Construction Mitigation Description***

The purpose of this letter is to outline the construction mitigation and operations associated with the proposed Firestone Complete Autocare.

Proposed Development

The subject property is approximately 0.88 acres and is located at 17808 108<sup>th</sup> Ave SE in Renton, Washington. The site is within the Commercial Arterial (CA) District. The proposed development consists of the construction of a Firestone automobile tire and service center with associated access drives and service bays.

Hours of Operation

Store management will set operating hours closer to the opening date; however, the local Firestones are typically open to the public Monday through Friday from 7:00 a.m. to 7:00 p.m., Saturdays from 7:00 a.m. to 6:00 pm, and Sundays from 8:00 a.m. to 6:00 p.m.

Deliveries

Delivery of vehicular parts and supplies are made on-site and typically require the presence of associates to receive the delivery. Delivery vehicles will enter the main access of 108<sup>th</sup> Ave SE and travel to the loading zone to the east side of the building. Employees will unload the delivery vehicles through the door nearest to the loading zone.

Proposed Construction

The construction for the proposed Firestone store in Renton, WA is estimated to start during Summer of 2017 be completed during Fall of 2017.

Construction Hours

All site improvements and construction activities will occur between the hours of 7:00 a.m. and 8:00 p.m., Monday through Friday, and 9:00 a.m. and 8:00 p.m. on Saturdays and Sundays.

Construction Mitigation Measures

Firestone will implement construction best management practices, including the following, to reduce construction noise:

- Locate stationary construction equipment as far from adjacent occupied buildings as possible.
- Select routes for movement of construction related vehicles and equipment so that noise sensitive areas, including outdoor recreation areas, are avoided as much as possible.
- All construction equipment will meet Department of Motor Vehicle (DMV) noise standards and shall be equipped with muffling devices.
- Prior to construction, the applicant will post on the site the allowable hours of construction activity.

**EXHIBIT 13**

# ADVISORY NOTES TO APPLICANT

## LUA16-000782



**Application Date:** October 06, 2016  
**Name:** Firestone at 108th SE

**Site Address:** 17808 108th Ave SE  
Renton, WA 98055-6419

### PLAN - Planning Review - Land Use

Version 2 |

#### Engineering Review Comments

**Contact: Ann Fowler | 425-430-7382 | afowler@rentonwa.gov**

I have reviewed the application for the Renton Firestone at 17808 108th Ave SE (APN('s) PID #('s)) and have the following comments:

#### EXISTING CONDITIONS

The site is approximately 0.88 acres in size and is rectangular in shape. The site currently contains an existing single story Skipper's Fast food Restaurant and associated parking lot area.

**Water** Water service is provided by Soos Creek Water and Sewer District. The site is located outside of an Aquifer Protection Area.

**Sewer** Wastewater service is provided by Soos Creek Water and Sewer District.

**Storm** There is an existing storm drainage system in 108th Ave SE (SR 515). The existing property contains a series of private stormwater facilities, which includes a private detention tank which discharges into the public conveyance system in 108th Ave SE.

**Streets** 108th Ave SE is a Principal Arterial Street with an existing right of way (ROW) width of 95 ft as measured using the King County Assessor's Map. Existing frontage improvements consist of a 0.5 ft curb and a 5 ft sidewalk.

109th Ave SE is a Residential Street with an existing right of way (ROW) width of 30 ft as measured using the King County Assessor's Map. No frontage improvements are installed along 109th Ave SE.

#### CODE REQUIREMENTS

##### WATER

1. The applicant shall provide a water availability certificate from Soos Creek Water and Sewer District. The water availability certificate should include the information that the fireflow requirement of the Renton Fire Department for this project is available. A copy of the approved water plan from Soos Creek Water and Sewer District shall be provided to the City prior to approval of the Civil Construction Permit.

##### SEWER

1. The applicant shall provide a sewer availability certificate from Soos Creek Water and Sewer District. A copy of the approved sewer plan from Soos Creek Water and Sewer District shall be provided to the City prior to approval of the Civil Construction Permit.

##### SURFACE WATER

1. A geotechnical report, dated June 1, 2016, completed by Professional Service Industries, Inc for the site has been provided. The submitted report describes the site is a Low Erosion Hazard area. Erosion control measures will need to be in place prior to starting grading activities on the site. The report discusses the soil and groundwater characteristics of the site including infiltration potential and provide recommendations for project design and construction. Geotechnical recommendations presented need to be address within the project plans.

2. A Preliminary Drainage Plan and Technical Information Report (TIR), dated January 2017, was submitted by PacLand with the Land Use Application. Based on the City of Renton's flow control map, the site falls within the Flow Control Duration Standard area matching Forested Site Conditions and is within the Black River Drainage Basin. The development is subject to Full Drainage Review in accordance with the 2009 King County Surface Water Design Manual (KCSWDM) and the 2010 City of Renton Amendments to the KCSWDM. All core requirements and the six special requirements are discussed in the Technical Information Report. The following stormwater improvements are required and shall be discussed within the TIR:

a. The applicant has submitted a complete Land Use Application for a Conditional Use Permit on October 6, 2016 and is therefore vested to the 2009 KCSWDM and the 2010 City Amendments to the Manual provided that the project does not change more than 10% for a period of 180 days from the application date. The vesting period expires on 4/4/2017.

b. Applicant shall submit an updated Bond Quantity Worksheet using the City of Renton's worksheet with the revised TIR to be submitted with the Civil Construction Permit Application.

3. The development is required to provide basic water quality treatment prior to discharge. Project water quality treatment will consist of conveyance to a Modular Wetland System preceding the proposed detention system prior to connection to the existing 24 inch concrete stormwater main located in 108th Ave SE.

a. Presettling shall be provided per Section 6.5.1 of the 2009 KCSWDM.

b. The use of the proposed modular wetland requires the applicant to submit an adjustment request in accordance with Section 1.4.5 of the City Amendments to the 2009 KCSWDM.

c. The use of the proposed Oldcastle StormCapture detention vaults requires the applicant to submit an adjustment request in accordance with Section 1.4.5 of the City Amendments to the 2009 KCSWDM.

4. Any proposed detention and/or water quality vault shall be designed in accordance with the KCSWDM and the City of Renton

# EXHIBIT 14

## Engineering Review Comments

Contact: Ann Fowler | 425-430-7382 | [afowler@rentonwa.gov](mailto:afowler@rentonwa.gov)

Amendments to the manual that is current at the time of utility construction permit application. Separate structural plans will be required to be submitted for review and approval under a separate building permit for the detention and/or water quality vault.

5. Appropriate flow control BMPs will be required to help mitigate the new runoff created by this development. A preliminary drainage plan, including the application of flow control BMPs, shall be included with the land use application, as applicable to the project. The final drainage plan and drainage report must be submitted with the civil construction permit application.

6. Surface water system development fee is \$0.641 per square foot of new impervious surface, but not less than \$1,608.00. This is payable prior to issuance of the civil construction permit.

### TRANSPORTATION

1. The proposed development fronts 108th Ave SE (SR 515) along the west property lines. 108th Ave SE is classified as a Principal Arterial Road. Existing right of way width in 108th Ave SE is approximately 95 feet. 108th Ave SE (SR 515) is classified as Principal Arterial. Minimum right of way for this street designation is 113 ft. To meet the City's complete street standards, street improvements including a pavement width of 76 feet, a 0.5 foot curb, an 8 foot planting strip behind the curb, an 8 foot sidewalk (shared pedestrian/bicycle), street trees and street lighting will be required. To build this street section, dedication of 9 feet of right of way fronting the site will be required for future road widening. Applicant wishes to request a modification from street improvements to retain the existing frontage improvements along 108th Ave SE. Approval of the modification request is provided under a separate cover.

2. Existing right of way width in 109th Ave SE is approximately 33 feet. 109th Ave SE is classified as a residential access road. Minimum right of way for this street designation is 53 feet. To meet the City's complete street standards, street improvements including a pavement width of 20 feet, a 6 foot parking lane on one side, a 0.5 foot curb, an 8 foot planter strip, a 5 foot sidewalk, street trees and street lighting will be required to be constructed in the right of way fronting the site per City code 4 6 060. To build this street section, dedication of 10 feet of right of way fronting the site will be required for future road widening. Applicant wishes to request a modification from street improvements to retain the existing frontage improvements along 109th Ave SE. Approval of the modification request is provided under a separate cover.

3. Parking lot construction shall be in accordance with City code 4 4 80G and the recommendations outlined in the provided Geotechnical Report.

4. Street lighting and street trees are required to meet current city standards. Lighting plans are required to be submitted with the land use application and will be reviewed during the construction utility permit review.

5. A traffic analysis dated September 26, 2016, was provided by Transportation Engineering Northwest (TENW). The site generated traffic volumes were calculated using data from the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition, (2009). Based on the calculations provided, the proposed development would average decrease of 407 net new daily vehicle trips. Weekday peak hour AM trips would generate 16 new vehicle trips, with 6 vehicles leaving and 10 vehicles entering the site. Weekday peak hour PM trips would generate a decrease of 13 net new vehicle trips. As detailed in the report the proposed project is not expected to lower the levels of service of the surrounding intersections included in the traffic study. The proposed development is expected to generate less than 20 net new vehicle trips during the AM and PM peak hours.

6. Refer to City code 4 4 080 regarding driveway regulations. Driveways shall be designed in accordance with City standard plans 104.1 and 104.2.

a. The maximum width of any driveway shall not exceed 30 feet.

b. Driveways shall be located a minimum of 5 feet from property lines.

c. Maximum driveway slope is 8%.

7. Paving and trench restoration shall comply with the City's Trench Restoration and Overlay Requirements.

### GENERAL COMMENTS

1. Adequate separation between utilities as well as other features shall be provided in accordance with code requirements.

a. 7 ft minimum horizontal and 1 ft vertical separation between storm and other utilities is required with the exception of water lines which require 10 ft horizontal and 1.5 ft vertical.

b. The stormwater line should be minimum 5 feet away from any other structure or wall or building.

c. Trench of any utility should not be in the zone of influence of the retaining wall or of the building.

2. All civil construction permits for utility and street improvements will require separate plan submittals. All civil plans shall confirm to the Renton Drafting Standards. A licensed Civil Engineer shall prepare the civil plans. Please visit the Development Engineering Forms page for the most up to date plan submittal requirements:

<http://rentonwa.gov/business/default.aspx?id=42473>

3. A landscaping plan shall be included with the civil plan submittal. Each plan shall be on separate sheets.

4. All utility lines (i.e. electrical, phone, and cable services, etc.) serving the proposed development must be underground. The construction of these franchise utilities must be inspected and approved by a City of Renton inspector.

5. Fees quoted in this document reflect the fees applicable in the year 2017 only and will be assessed based on the fee that is current at the time of the permit application or issuance, as applicable to the permit type. Please visit [www.rentonwa.gov](http://www.rentonwa.gov) for the current development fee schedule.

**Planning Review Comments****Contact: Matt Herrera | 425-430-6593 | mherrera@rentonwa.gov**

1. RMC section 4 4 030.C.2 limits haul hours between 8:30 am to 3:30 pm, Monday through Friday unless otherwise approved by the Development Services Division.
2. Commercial, multi family, new single family and other nonresidential construction activities shall be restricted to the hours between seven o'clock (7:00) a.m. and eight o'clock (8:00) p.m., Monday through Friday. Work on Saturdays shall be restricted to the hours between nine o'clock (9:00) a.m. and eight o'clock (8:00) p.m. No work shall be permitted on Sundays.
3. Within thirty (30) days of completion of grading work, the applicant shall hydroseed or plant an appropriate ground cover over any portion of the site that is graded or cleared of vegetation and where no further construction work will occur within ninety (90) days. Alternative measures such as mulch, sodding, or plastic covering as specified in the current King County Surface Water Management Design Manual as adopted by the City of Renton may be proposed between the dates of November 1st and March 31st of each year. The Development Services Division's approval of this work is required prior to final inspection and approval of the permit.
4. A National Permit Discharge Elimination System (NPDES) permit is required when more than one acre is being cleared.
5. The applicant may not fill, excavate, stack or store any equipment, dispose of any materials, supplies or fluids, operate any equipment, install impervious surfaces, or compact the earth in any way within the area defined by the drip line of any tree to be retained.
6. The applicant shall erect and maintain six foot (6') high chain link temporary construction fencing around the drip lines of all retained trees, or along the perimeter of a stand of retained trees. Placards shall be placed on fencing every fifty feet (50') indicating the words, "NO TRESPASSING – Protected Trees" or on each side of the fencing if less than fifty feet (50'). Site access to individually protected trees or groups of trees shall be fenced and signed. Individual trees shall be fenced on four (4) sides. In addition, the applicant shall provide supervision whenever equipment or trucks are moving near trees.
7. This permit is shall comply with the Bald and Golden Eagle Protection Act. The permitted is responsible for adhering to the U.S. Fish and Wildlife Service National Bald Eagle Management Guidelines (2007) and /or your U.S. Fish and Wildlife Service permit.

## PLAN - Planning Review - Land Use

Version 1 | November 09, 2016

### Police Plan Review Comments

Contact: Sandra Havlik | 425-430-7519 | SHavlik@Rentonwa.gov

Recommendations: PROJECT LUA16 000782  
Firestone – 17808 108th Ave SE

City of Renton Department of Planning / Building / Public Works  
ENVIRONMENTAL & DEVELOPMENTAL APPLICATION REVIEW SHEET

#### POLICE RELATED COMMENTS

4 Police Calls for Service Estimated Annually

#### CONSTRUCTION PHASE

Theft from construction sites is one of the most commonly reported crimes in the City. To protect materials and equipment it is recommended that all materials and tools be locked up when not in use. The site should have security lighting, and any construction or storage trailers should be completely fenced in with portable chain link fencing. The fence will provide both a physical and psychological barrier to any prospective criminal and will demonstrate that the area is private property.

Construction trailers should be kept locked when not in use, and should be fitted with heavy duty deadbolts with a minimum 1 1/2" throw when bolted. Any construction material that contains copper should be removed from the construction site at the end of each working day. Glass windows in construction trailers should be shatter resistant. Toolboxes and storage containers should be secured with heavy duty padlocks and kept locked when not in use.

"No Trespassing" signs should be posted on the property during the construction phase. This will aid police in making arrests on the property after hours if suspects are observed vandalizing or stealing building materials. The use of private security personnel to patrol the site during the hours of darkness is recommended.

#### COMPLETED FACILITY

All exterior doors should be made of solid metal or metal over wood, with heavy duty deadbolt locks, latch guards or pry resistant cylinders around the locks, and peepholes. Glass pedestrian and glass bay doors should be fitted with the hardware described above and additionally be fitted with a layer of security film. Security film can increase the strength of the glass by up to 300%, greatly reducing the likelihood of breaking glass to gain entry. Access to the back of the buildings should be limited as these areas could be vulnerable to crime due to the lack of natural surveillance by business customers or employees.

It is recommended that the building be monitored with recorded security alarm systems installed. It's not uncommon for businesses to experience theft and/or vandalism during the hours of darkness. It is important to direct all foot traffic towards the main entrance of the buildings. Any alternative employee entrances should have controlled access doors to prevent trespassing.

All areas of this project need to have adequate lighting. This will assist in the deterrent of theft from motor vehicle (one of the most common crimes in Renton) as well as provide safe pedestrian travel for both employees and customers. Any vehicles that are not repaired in the same day and left overnight should be parked in a secured enclosed area. If a garage or bay is not available, then the vehicle should be parked in an area well lit.

The building should have building numbers clearly posted with numbers at least 12" in height and of a color contrasting with the building. The plans listed these numbers as only being 6" high which is well below the recommendation. This will assist emergency personnel in locating the correct location for response.

Landscaping should be installed with the objective of allowing visibility – not too dense and not too high. All trees should be trimmed four to five feet up from the ground. Shrubs should be pruned to no more than three feet tall. Too much landscaping will make customers and employees feel isolated and will provide criminals with concealment to commit crimes such as burglary.

It is important for a business to have appropriate lighting and signage. "No Trespassing" signs should be posted in conspicuous locations, including entrances to the property and parking areas.

I highly recommend that the developer have a Renton Police Crime Prevention Representative conduct a security survey of the premises once construction is complete.



## PLAN - Planning Review - Land Use

Version 1 | November 09, 2016

### Fire Review - Building Comments

Contact: Corey Thomas | 425-430-7024 | [cthomas@rentonrfa.org](mailto:cthomas@rentonrfa.org)

1. Fire impact fees are applicable at the rate of \$0.61 a square foot for commercial space. This fee is paid at time of building permit issuance.
2. The preliminary fire flow is 2,500 gpm. A minimum of three fire hydrants are required. One within 150 feet and two within 300 feet of the proposed building. Existing hydrants appear adequate. One new hydrant is required within 50 feet of the fire department connection. A water availability certificate is required from Soos Creek Water District.
3. Approved fire sprinkler and fire alarm systems are required throughout the building. Separate plans and permits required by the fire department. Direct outside access is required to the fire sprinkler riser room. Fully addressable and full detection is required for the fire alarm system. An annual fire permit is required for high piled combustible stock.
4. Fire department apparatus access roadways are required within 150 feet of all points on the building. Required turning radius are 25 feet inside and 45 feet outside. Roadways shall be a minimum of 20 feet wide. Maximum grade on roadways is 15%. Roadways shall support a minimum of a 30 ton vehicle and 75 psi point loading.
5. An electronic site plan is required prior to occupancy for pre fire planning purposes.

### Building Review - Planning Comments

Contact: Craig Burnell | 425-430-7290 | [cburnell@rentonwa.gov](mailto:cburnell@rentonwa.gov)

Recommendations: Recommendations of the geotechnical report must be followed as a condition of building permit.  
Geotechnical report should be updated to 2015 IBC Code.

Re: Renton Friction @ 108<sup>th</sup>

10-25-2016

Matthew Herrera, Senior Planner

I am writing in regard to the improvements along 109<sup>th</sup> Ave SE. Before Skiffen, Wading, Ding, Queen, the Arby's, the neighbors along 109<sup>th</sup> at 110<sup>th</sup> Ave SE, won a judgment from King County in the 60s - to us. We gave the restaurant a portion of the lot to the 109<sup>th</sup> side in agreement that 100<sup>th</sup> would be a permanent green belt with no access to 109<sup>th</sup>. The lawn, trees and shrubs are to be maintained by the residents on 109<sup>th</sup>. The green belt does not allow cars to park there. It is to be a neighborhood park and picnic area. Please protect our neighborhood.

Please forgive my penmanship but I had to send this letter.

Sincerely  
Zoe Mattson

RECEIVED

OCT 27 2016

CITY OF RENTON

PLANNING



EXHIBIT 15

## Firestone vs. 109<sup>th</sup> ave s.e. to Save Green Belt

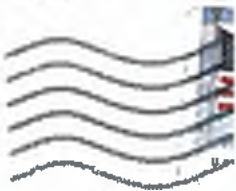
Our neighborhood along 109<sup>th</sup> ave. S.E. is very concerned about the impact Firestone will bring to our residential street. The businesses along 108<sup>th</sup>. Were stopped from funneling traffic onto 109<sup>th</sup>. for this very reason and is on record somewhere, we just need to find it, and we will. No one is happy at all to lose the green belt to more asphalt, noise and possible traffic and garbage on our street. You will be hearing from other concerned neighbors. A committee was formed in the late 60s when MacDonald's was one of the 1<sup>st</sup>. Businesses, and will be formed again if necessary to stop the intrusion.

Sincerely John Snarski  
Karen Snarski



SEATTLE WA 981

21 OCT 2016 PM 8 T



Matthew Herrera, Senior Planner, CED Planning I  
1055 South Grady Way  
Renton, WA. 98057



December 7, 2016

John and Karen Snarski  
17654 109<sup>th</sup> Ave. SE  
Renton, WA 98055

Subject: Renton Firestone – 17808 108<sup>th</sup> Ave. SE  
Public Comment Letter

Mr. and Mrs. Snarski,

We received the letter you sent to the City of Renton on October 21<sup>st</sup> regarding the proposed Firestone development located at 17808 108<sup>th</sup> Ave. SE. We understand that you have concerns regarding the potential impacts of the proposed development, and would like to do what we can to alleviate those concerns.

We are sensitive to the concern you stated in your letter regarding site access, and as such have not proposed a connection between the development and 109<sup>th</sup> Ave. SE. Access to the proposed development will only be provided from 108<sup>th</sup> Ave. SE, which will prevent commercial traffic on the site from entering the residential neighborhood to the east on 109<sup>th</sup>.

Regarding the area between the development and 109<sup>th</sup> Ave. SE, we will be providing a 30' vegetated area between the proposed parking lot and the existing 109<sup>th</sup> roadway. This area will be landscaped and will incorporate a row of pine trees planted on the property and additional street trees along 109<sup>th</sup> to provide visual screening between the development and the neighborhood. Furthermore, the development will be approximately six feet below the existing 109<sup>th</sup> roadway, further limiting its visual impact.

We hope this addresses your concerns. Please see the enclosed landscape and site plans for additional reference. If you are satisfied with the above explanations, please notify Matthew Herrera at the City of Renton. Otherwise, please feel free to give us a call if there is anything in particular you would like to discuss. Thank you, and have a good day.

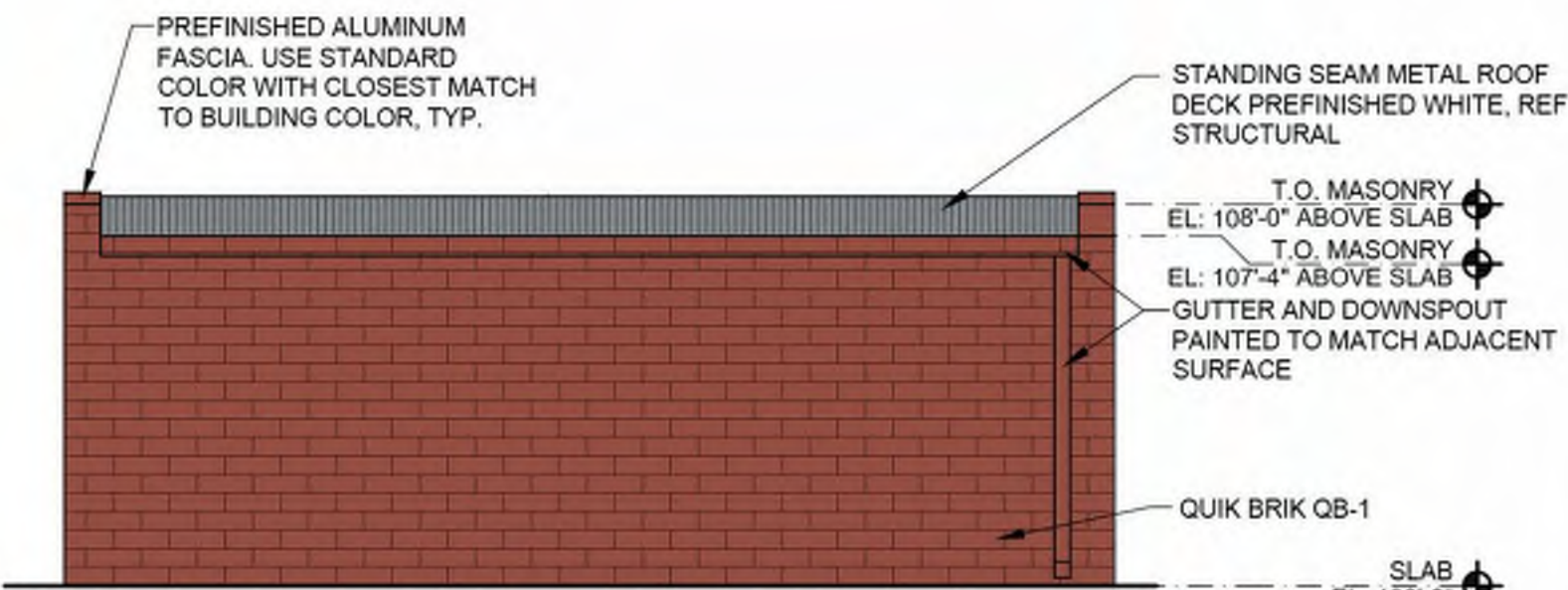
Sincerely,



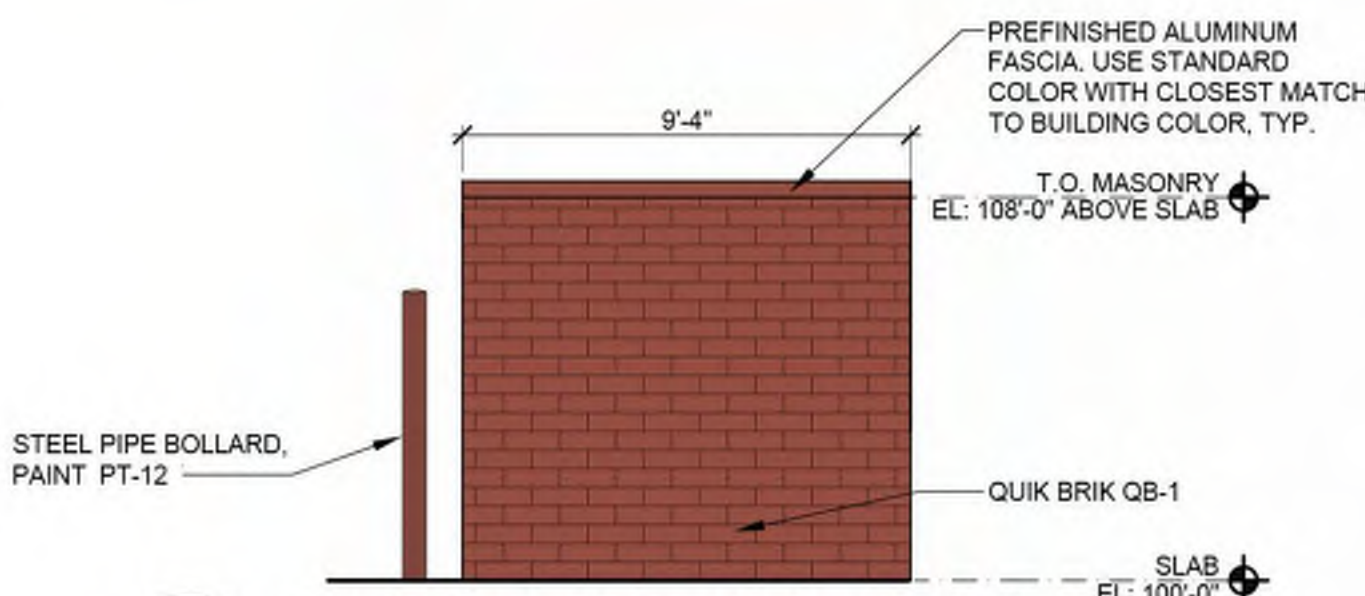
Luke Randles



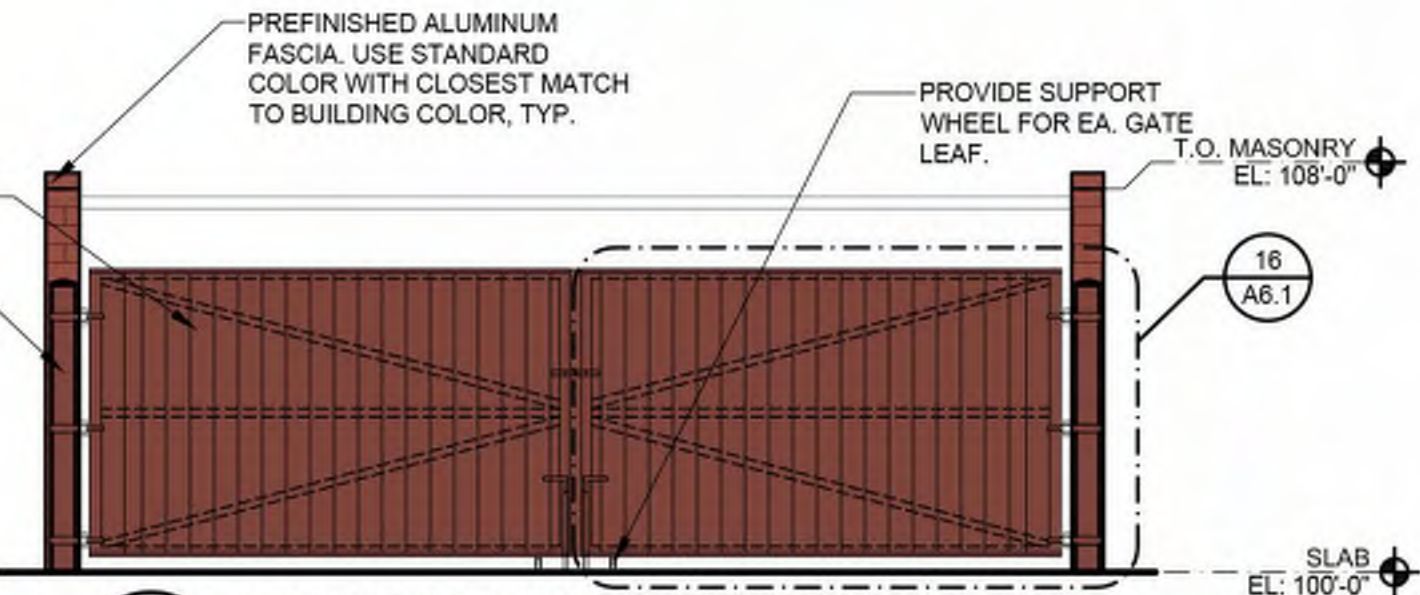
Trash Enclosure Only



17 TRASH ENCLOSURE ELEV. SCALE: 1/4"=1'-0"



18 TRASH ENCLOSURE ELEV. SCALE: 1/4"=1'-0"



19 TRASH ENCLOSURE ELEV. SCALE: 1/4"=1'-0"

PT-12 | "RED BARN" SW7591

PT-13 | "SEDATE GRAY" SW6169

"PREWEATHERED GALVALUME" Berridge Metal Roofing

PT-10 | "PATIENCE" SW7555

1 (NORTH) ELEVATION  
A4 SCALE: 1/8"=1'-0"

6 (SOUTH) ELEVATION  
A4 SCALE: 1/8"=1'-0"

11 (EAST) ELEVATION  
A4 SCALE: 1/8"=1'-0"

16 (WEST) ELEVATION  
A4 SCALE: 1/8"=1'-0"

QB-1 | "PROMENADE BLEND"

AM-1 | "MISSION WHITE"

EXHIBIT 17

PROJECT CONTACTS: PHONE #: (918) 587-8600  
ARCHITECT: JEFF DALTON, AIA  
SGA DESIGN GROUP, P.C.

THIS DRAWING IS THE PROPERTY OF BRIDGESTONE RETAIL OPERATIONS, LLC AND IS LOANED ON THE EXPRESS CONDITION THAT IT IS NOT TO BE USED IN ANY WAY DELETTERIOUS TO THE INTERESTS OF BRIDGESTONE RETAIL OPERATIONS, LLC. THE ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN ACCEPTANCE OF THE FOREGOING CONDITION AND AS ADMISSION TO THE EXCLUSIVE OWNERSHIP IN AND TO THE DRAWING BY BRIDGESTONE RETAIL OPERATIONS, LLC.

108TH AVE SE NEAR NE CARR  
RENTON, WA

SGA Design Group, P.C.  
1437 South Boulder, Suite 550  
Tulsa, Oklahoma 74119.3609  
p: 918.587.8600  
f: 918.587.8601  
www.sgadesigngroup.com

SHEET TITLE: EXTERIOR ELEVATIONS & DETAILS  
SHEET NUMBER: PA4

NOTE: THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. SITE INFORMATION WAS OBTAINED FROM THE CLIENTS DOCUMENTS; DESIGN MAY VARY.



**WASHINGTON FORESTRY CONSULTANTS, INC.**  
FORESTRY AND VEGETATION MANAGEMENT SPECIALISTS



**W F C I**

360/943-1723  
FAX 360/943-4128

1919 Yelm Hwy SE, Suite C  
Olympia, WA 98501

January 25, 2017

Luke Randles, P.E.

**PACLAND**

1505 Westlake Ave N., Suite 305  
Seattle, WA 98109

RE: Renton Firestone – Potential for Transplanting Existing Spruce Trees Onsite

Dear Mr. Randles:

The Sitka spruces range from 10 to 26 inches DBH. This means their caliper at 12 inches above the ground line are more like 16 to 35 or more inches diameter. These are too large to move with the size of tree spades (90 inch spades) that exist in western Washington and Oregon. They would not survive.

For a tree this size, they would need to be dug and a box built around the root system. I expect that cost to be in excess of \$26,000 per tree.

Spruce is a shallow rooted tree species, and given the marginal health of these trees, their large size, and the gravelly texture of the soil - I would suggest the likelihood of survival of one of these spruces to be 'poor to zero', even with good follow-up care.

I owned 1/2 of a big tree moving company from 2002 to 2016 (Tree Movers Northwest, Inc.), so I have a great deal of experience moving large trees. I would never move a spruce larger than 6 inches DBH, and then it would need to be a specimen quality tree, and, have serious and dedicated aftercare for at least 2 years.

My suggestion is to plant new trees of a better species - e.g. western red cedar. In 10 years there will be healthy, beautiful trees on site, instead of dead or dying spruce trees that have become infected with needlecast disease due to stress.

Please give me a call if you have questions.

Respectfully submitted,

Washington Forestry Consultants, Inc.

Galen M. Wright, ACF, ASCA  
ISA Board Certified Master Arborist No. PN-129  
Certified Forester No. 44  
ISA Tree Risk Assessor Qualified

**EXHIBIT 18**



## M E M O R A N D U M

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DATE: February 24, 2017

TO: Mathew Herrera, Senior Planner

FROM: Brianne Bannwarth, Development Engineering Manager

SUBJECT: **Traffic Concurrency Test – Firestone at 108<sup>th</sup> SE;  
File No. LUA16-000782, ECF, CU-A, SA-A**

---

The applicant is requesting Administrative Site Plan Review, Administrative Conditional Use Permit, Environmental Review, and four (4) modifications to redevelop an existing CA zoned site with a proposed 7,700 square foot new building to accommodate a new vehicle service and repair business. Associated improvements include surface parking for 24 vehicles, stormwater detention vault, and landscaping. The existing restaurant on the subject property will be removed. Access to the site will remain in approximately the same location as the former restaurant along the 108th Ave SE frontage. The applicant also requests four (4) modifications to code requirements related to frontage improvements along 108th Ave SE and 109 Ave SE, garbage and recycling enclosure requirements, and loading space standards. No critical areas are mapped on-site.

The proposed development would generate a reduction of approximately 407 net new average weekday daily trips. During the weekday AM peak hour, the project would generate approximately 16 net new trips (10 inbound and 6 outbound). During the weekday PM peak hour, the project would generate a reduction of approximately 13 net new trips (-9 inbound and -4 outbound). The proposed project passes the City of Renton Traffic Concurrency Test per RMC 4-6-070.D as follows:

<b>Traffic Concurrency Test Criteria</b>	<b>Pass</b>
Implementation of citywide Transportation Plan	Yes
Within allowed growth levels	Yes
Project subject to transportation mitigation or impact fees	Yes
Site specific street improvements to be completed by project	Yes
<b>Traffic Concurrency Test Passes</b>	

### **Evaluation of Test Criteria**

Implementation of citywide Transportation Plan: The City's investment in completion of the forecast traffic improvements is 130% of the scheduled expenditure through 2017.

Within allowed growth levels: As shown on the attached citywide traffic concurrency summary, the calculated citywide trip capacity for concurrency with the city adopted model for 2017 is 2,556 trips, which provides sufficient capacity to accommodate the reduction of 13 trips from this project. A resulting 2,569 trips are remaining.

Project subject to transportation mitigation or impact fees: The project will be subject to transportation impact fees at time of building permit for the project.

Site specific street improvements to be completed by project: The project will be required to complete all internal and frontage street improvements for the building prior to occupancy. Any additional off-site improvements identified through SEPA or land use approval will also be completed prior to final occupancy.

### **Background Information on Traffic Concurrency Test for Renton**

The City of Renton Traffic Concurrency requirements for proposed development projects are covered under Renton Municipal Code (RMC) 4-6-070. The specific concurrency test requirement is covered in RMC 4-6-070.D, which is listed for reference:

#### ***D. CONCURRENCY REVIEW PROCESS:***

***1. Test Required:*** A concurrency test shall be conducted by the Department for each nonexempt development activity. The concurrency test shall determine consistency with the adopted Citywide Level of Service Index and Concurrency Management System established in the Transportation Element of the Renton Comprehensive Plan, according to rules and procedures established by the Department. The Department shall issue an initial concurrency test result describing the outcome of the concurrency test.

***2. Written Finding Required:*** Prior to approval of any nonexempt development activity permit application, a written finding of concurrency shall be made by the City as part of

*the development permit approval. The finding of concurrency shall be made by the decision maker with the authority to approve the accompanying development permits required for a development activity. A written finding of concurrency shall apply only to the specific land uses, densities, intensities, and development project described in the application and development permit.*

**3. Failure of Test:** *If no reconsideration is requested, or if upon reconsideration a project fails the concurrency test, the project application shall be denied by the decision maker with the authority to approve the accompanying development activity permit application.*

The Concurrency Management System established in the Transportation Element on page XI-65 of the Comprehensive Plan states the following:

*Based upon the test of the citywide Transportation Plan, consideration of growth levels included in the LOS-tested Transportation Plan, payment of a Transportation Mitigation Fee, and an application of site specific mitigation, development will have met City of Renton concurrency requirements.*

## ENVIRONMENTAL (SEPA) DETERMINATION OF NON-SIGNIFICANCE (DNS)

**PROJECT NUMBER:** LUA16-000782, ECF, CU-A, SA-A, MOD

**APPLICANT:** Luke Randles, PacLand  
1505 Westlake Ave N, Suite 105, Seattle, WA 98109

**PROJECT NAME:** Firestone @ 108<sup>th</sup> SE

**PROJECT DESCRIPTION:** The applicant is requesting Administrative Site Plan Review, Administrative Conditional Use Permit, and Environmental Review of a proposed 7,700 square foot building to accommodate a new vehicle service and repair business. Associated improvements include surface parking for 24 vehicles, storm water detention vault, and landscaping. The existing restaurant will be removed. Access to the site will remain in approximately the same location as the former restaurant along the 108<sup>th</sup> Ave SE frontage. The applicant also requests four (4) modifications to code requirements related to frontage improvements along 108<sup>th</sup> SE and 109 Ave SE, garbage and recycling enclosure requirements, and loading space standards. The subject property is approximately 0.87 acres with no critical areas mapped on-site.

**PROJECT LOCATION:** 17808 108<sup>th</sup> Ave SE

**LEAD AGENCY:** City of Renton  
Environmental Review Committee  
Department of Community & Economic Development

The City of Renton Environmental Review Committee has determined that it does not have a probable significant adverse impact on the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This Determination of Non-Significance is issued under WAC 197-11-340. Because other agencies of jurisdiction may be involved, the lead agency will not act on this proposal for fourteen (14) days.

**Appeals of the environmental determination must be filed in writing on or before 5:00 p.m. on March 24, 2017.** Appeals must be filed in writing together with the required fee with: Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. Appeals to the Examiner are governed by RMC 4-8-110 and more information may be obtained from the Renton City Clerk's Office, (425) 430-6510.

**PUBLICATION DATE:** March 7, 2017

**DATE OF DECISION:** March 6, 2017

**SIGNATURES:**

  
Gregg Zimmerman, Administrator  
Public Works Department

3/6/17  
Date

  
Rick M. Marshall, Administrator  
Fire & Emergency Services

3/6/17  
Date

  
Kelly Beymer, Administrator  
Community Services Department

3/6/17  
Date

  
C.E. "Chip" Vincent, Administrator  
Department of Community &  
Economic Development

3/6/2017  
Date

**EXHIBIT 20**